



Zoning Challenge and Appeal Form

(for approved applications)

Must be typewritten

1	Property Information <i>Required for all challenges.</i>
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BIS Job Number 121190497

BIS Document Number 7

Borough Manhattan

House No(s) 65

Street Name West Broadway

2	Challenger Information <i>Optional.</i>
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Note to all challengers: This form will be scanned and posted to the Department's website.

Last Name Janes

First Name George

Middle Initial M

Affiliated Organization Prepared for: Tribeca Trust

E-Mail george@georgejanes.com

Contact Number 917-612-7478

3	Description of Challenge <i>Required for all challenges.</i>
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Note: Use this form only for challenges related to the Zoning Resolution

Select one: ☒ Initial challenge ☐ Appeal to a previously denied challenge (denied challenge must be attached)

Indicate total number of pages submitted with challenge, including attachments: 23 (attachment may not be larger than 11" x 17")

Indicate relevant Zoning Resolution section(s) below. Improper citation of the Zoning Resolution may affect the processing and review of this challenge.

Every area measurement in the drawing is demonstratively wrong or highly suspect. Consequently, the building is out of FAR compliance with ZR 111-20

Describe the challenge in detail below: (continue on page 2 if additional space is required)

Please see attached.

Note to challengers: An official decision to the challenge will be made available no earlier than 75 days after the Development Challenge process begins. For more information on the status of the Development Challenge process see the Challenge Period Status link on the Application Details page on the Department's website.

ADMINISTRATIVE USE ONLY			
Reviewer's Signature:	Date:	Time:	WO#:

GEORGE M.
JANES &
ASSOCIATES

250 EAST 87TH STREET
NEW YORK, NY 10128

www.georgejanes.com

T: 646.652.6498
F: 801.457.7154
E: george@georgejanes.com

January 28, 2018

Rick D. Chandler, P.E., Commissioner
Department of Buildings
280 Broadway
New York, NY 10007

RE: Zoning Challenge
65 West Broadway
Block 133, Lot 15
Job No: 121190497

Dear Commissioner Chandler:

At the request of Tribeca Trust, a community-based organization that promotes responsible development in New York City, I have reviewed the zoning diagram and related materials for the new building to be constructed at 65 West Broadway. My firm regularly consults with land-owners, architects, community groups and Community Boards on the New York City Zoning Resolution, and I have been a member of the American Institute of Certified Planners for the past 20 years.

Summary of findings

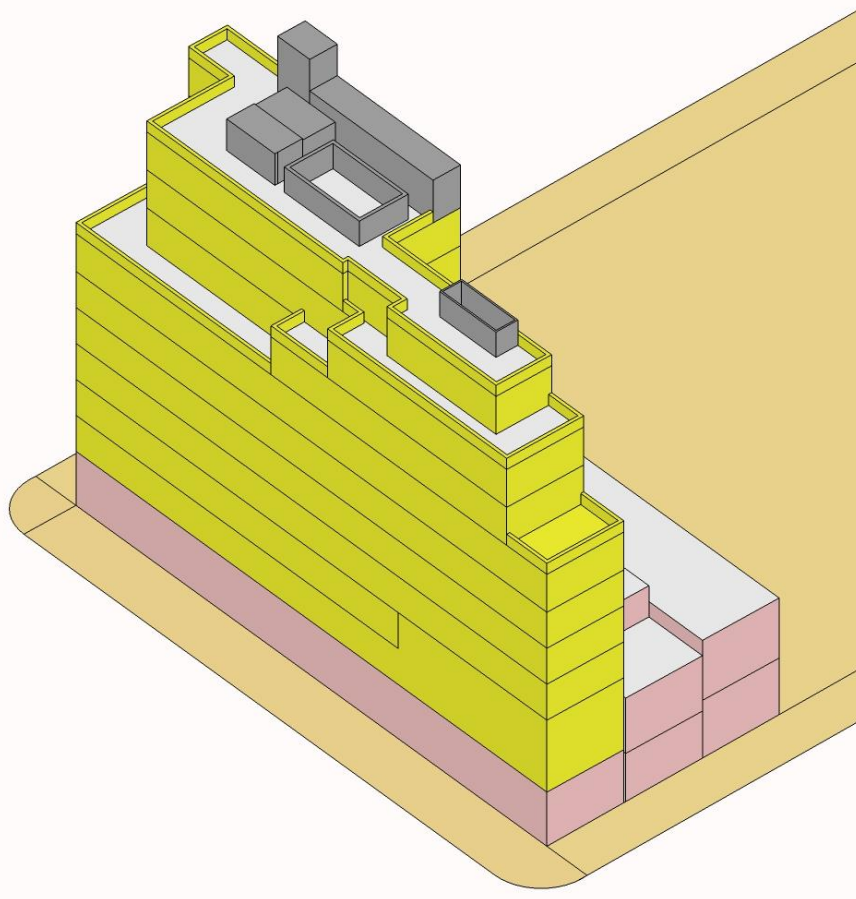
The area measurements found in the drawing are either demonstrably incorrect, or are highly suspect. Consequently, the Department of Buildings (“DOB”) should require a corrected ZD1 that demonstrates zoning compliance. This new ZD1 should include information that is missing on the current ZD1, including the zoning district, its maximum FAR, the special district and information on the two existing buildings that will stay on the zoning lot, which are not shown on the ZD1.

Both this drawing and the last drawing I challenged (249 East 62nd Street) have serious errors regarding the *arithmetic* found on the ZD1; all New Yorkers should all find these errors troubling. If professionals are stamping drawings, certifying their accuracy under threat of imprisonment, and they still have arithmetic errors, and these kinds of errors are pervasive, it is a threat to how we do business in NYC. I encourage the DOB to look into what happened here and perhaps consider steps beyond new drawings.

Project summary

The proposed building is on a corner lot along West Broadway and fronting both Warren Street and Murray Street. The building fronts the entire 175.72’ along West Broadway, 49.36’ along Warren Street, 25.1’ along Murray Street. Lot 15 includes two existing buildings that will stay on the lot abutting the building on Murray Street. The zoning district is C6-2A in the Tribeca Special Mixed Use District. The district allows a maximum FAR of 5.0 (ZR 111-20).

The following shows an axonometric view of the building my office modeled:



Axonometric view of the building proposed in traditional land use colors

The building proposed is a quality housing building in a contextual building envelope with a maximum height of 120 feet (ZR 23-662). The proposed building is notable for the extensive amount of non-zoning floor area (“NZFA”) being claimed. Excluding the cellar and below grade areas, the 58,121 SF building shows 11,344 SF of non-zoning floor area, or 19.5% of the total floor area.

Errors in application materials

The ZD1 has many errors ranging from the significant to the trivial. It will need to be remade to properly describe the building and DOB should instruct the applicant to correct all errors. Minor errors include:

- Zoning district/special district is not named.
- The wrong section of the zoning resolution is referenced throughout (the applicant means section 23 not 123).
- FAR compliance cannot be demonstrated with the information provided in the ZD1 alone because the maximum FAR of the zoning district is not shown, and there is no information provided on the buildings to remain on

the zoning lot.

More seriously, the total “Building Code Gross Floor Area” shown below is not the sum of all Gross Floor Area (“GFA”) numbers in the table:

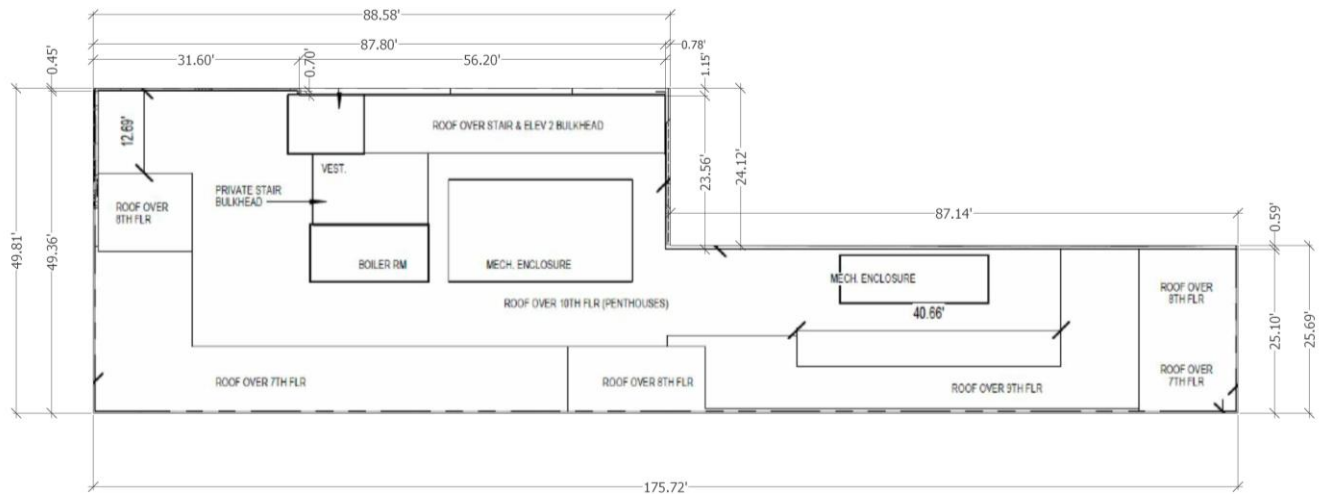
Floor Number	Building Code Gross Floor Area (sq. ft.)	Use Group	Zoning Floor Area (sq. ft.)				FAR
			Residential	Community Facility	Commercial	Manufacturing	
SUB	5715	2, 6					
CEL	4069	2, 6					
001	6281	2, 6	877		4910		.52
002	6354	2	3964				.36
003	5136	2	4341				.39
004	6349	2	5266				.48
005	6344	2	5257				.48
006	6345	2	5258				.48
007	6344	2	5265				.48
008	5056	2	4348				.39
009	4674	2	4030				.36
010	3601	2	3150				.29
ROF	1637	2	111				.01
Totals	58,121		41,867		4,910		4.24
			Total Zoning Floor Area				46,777

Detail of Proposed Floor Area table from ZD1. The number circled is not the sum of the column

When these numbers are added, the actual GFA number is 67,905 SF, a difference of 9,784 SF! It appears that the applicant omitted the cellar and the sub-cellar when tallying this column of numbers. This might seem like a relatively harmless error since this area is not counted as zoning floor area, but consider: Had this column been properly summed and the GFA read 67,905 SF while the Zoning Floor Area (“ZFA”) read 46,777 SF for a 10-story quality housing building, the plan examiner might have asked questions about how the dimensions were drawn and how the area was calculated. And I speculate that the applicant did not want the plan examiner to ask these questions because every area measurement we checked appears to be wrong, and every case favors the developer’s interest.

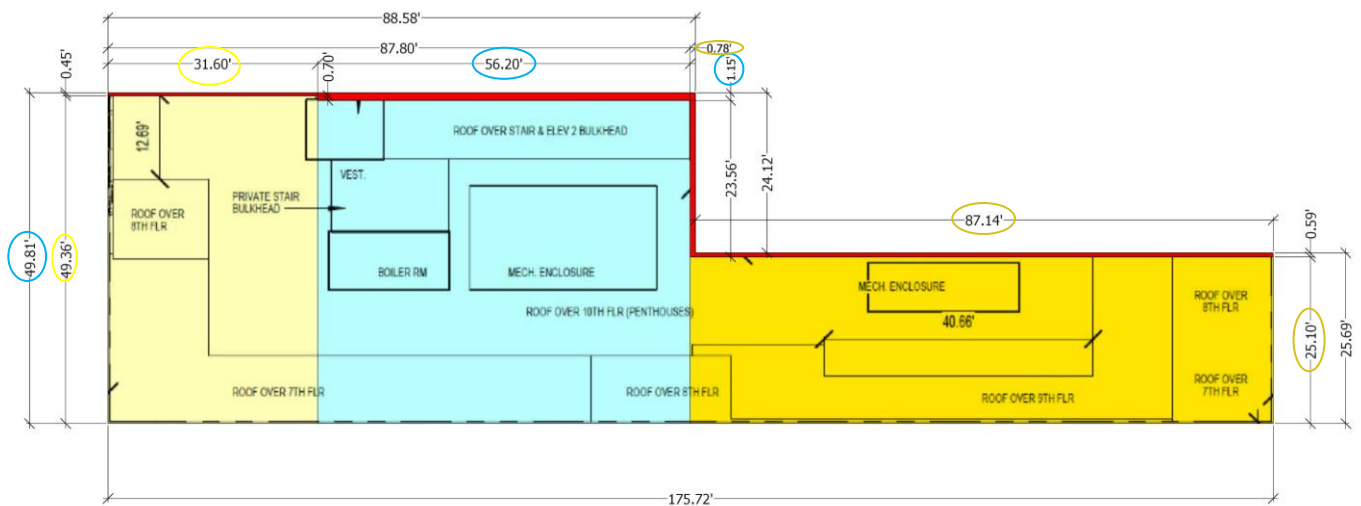
Gross floor area of the ground floor

We started by checking the gross floor area of the ground floor. The following is the detail of the plan found in the ZD1.



Detail of ZD1 plan view

My office then segmented the plan into rectangles where the area can be easily calculated using simple geometry (e.g. length * width) rather than CAD. The yellow, blue and mustard areas are rectangles covering the entire ground floor of the building. The thin red area is open and not counted in gross building floor area.



Detail of ZD1, overlain with rectangles to demonstrate the actual GSF of this floor

$$\text{Yellow} = 49.36 \times 31.6 = 1,559.78$$

$$\text{Blue} = (49.81 - 1.15) \times 56.2 = 2,734.69$$

$$\text{Mustard} = 25.1 \times (87.14 + 0.78) = 2,206.79$$

$$\text{Gross Floor Area ground floor} = 6,501.26$$

$$\text{Gross Floor Area claimed in ZD1} = 6,281.00$$

Amount ground floor understated = 220.26 GSF

Please note that this arithmetic is using the dimensions shown on the applicant's drawing (and circled in drawing), and can be done by anyone without computer tools; the 220 GFA understatement of the ground floor is in plain sight. A similar discrepancy is seen on almost every floor,¹ resulting in a building that is about 1,600 GSF larger on floors 1 through 10 than what is shown in the ZD1 table. Considering that ZFA is calculated by deducting exempt areas from the GSF number, this is a significant and material error and will require a new drawing.

But how did such a serious and obvious mistake happen? I am sure that the area calculations were done using CAD and I doubt that the program made an error. It is my speculation that the architect made an error; an error that could have even bigger consequences on the compliance of the building.

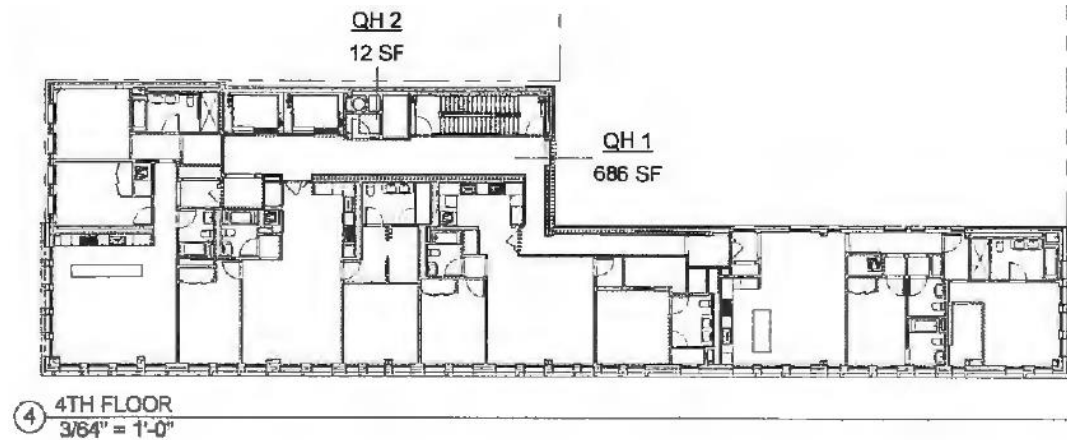
Where do you draw the line?

As a part of the Zone Green text amendments of 2012, up to eight inches of the exterior wall may be excluded from zoning floor area. To account for this in the design process, I have been told that some architectural offices will off-set exterior walls six or eight inches when calculating floor area, so that this eventual non-zoning floor area would be excluded from the calculations. And indeed, when the floor plate for the ground floor is drawn in CAD and then off-set six inches (i.e. made six inches smaller in all dimensions), the GSF produced for the ground floor is within a few feet of the GSF number reported in the ZD1. While this might explain how this error was made, it does beg the question: Was this erroneous practice used anywhere else? This building has an extensive amount of non-zoning floor area. How was that area calculated?

To double-check the NZFA deductions, my office acquired the latest set of filed Z-series plans from the DOB. This set is dated 3/27/2017 and does not match the last ZD1, which is undated, but posted 12/11/2017. The changes in the interim mostly related to changes to the dormers and rooftop and I believe are unrelated to the standards used for the quality housing deductions on the lower floors. These plans show that the building is taking a substantial 6,102 SF of quality housing deductions. I have no complaint with any of the deductions taken, but I have a major complaint with how they are measured.

The following is a detail from "Quality Housing Deductions" Sheet 10.

¹ There is a major discrepancy on the roof, which may not be due to the same reason as the habitable floors, so it has been omitted from these calculations.



Detail of sheet 10, showing the 4th Floor QH deductions

This 4th floor hallway shows the hallway, labeled QH1 686 SF, as a quality housing deduction. It has a window and so qualifies for the deduction for a day-lit hallway. In addition, because of the number of apartments on the floor, it also qualifies for the density deduction. Both of these deductions are 50%, and when taken together, means that the entire hallway will be removed from zoning floor area. My office has measured the hallway below in CAD:



Detail of sheet 10, delineating the hallway from wall-to-wall. My office shows it as 543 SF.

The blue shaded area shows the area of the hallway according to our delineation, and the area is calculated at 543 SF when the area of the hallway is measured wall-to-wall. The applicant, however, is showing this hallway at 686 SF, which is 143 SF larger than it actually is. How did this happen? It all depends on where the line for the hallway is drawn. When calculating gross floor area, measurements are taken to the very edge of the exterior wall. However, when calculating deductions for things like hallways, shafts, and chases, the measurements must be made wall-to-wall, excluding the wall thicknesses. If we redo the hallway measurement done above to include all abutting wall thicknesses, as shown in the drawing below, we get a different result:



Detail of sheet 10, delineating the hallway from including all walls: the area nearly exactly matches the deduction claimed.

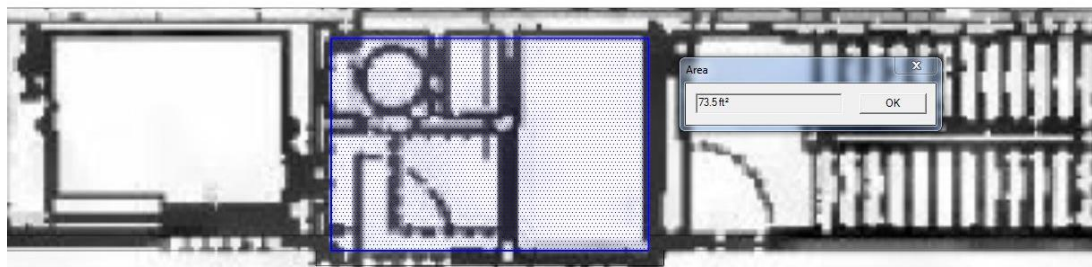
To be clear, this is not the correct way to measure this deduction, but it does produce nearly the result the applicant is claiming. The quality housing deductions claimed for the hallways are substantially overstated. Unfortunately, this measurement error for the deductions are not only limited to the quality housing deductions. The mechanical deductions also suffer from serious overstatement. For example, consider area M-3, which appears to be a small chase and is detailed on sheet 9 of the aforementioned Z-series plans. The chase is outlined in blue below using two different methods.



Detail of sheet 9, showing M-3 in blue. The left is measured to produce the applicant's deduction. The right shows M-3 as it should have been measured.

On the left, we have measured the chase using all the exterior walls. This equals the 14 SF deduction claimed for it. On the right, the chase is measured as it should have been measured, which shows it as less than half the size: 6 SF.

Another and even more extreme example is M-7, a 74 SF deduction claimed in and around the refuse room, shown below:



Detail of sheet 9, showing the area necessary to claim the 74 SF deduction for M-7. This includes the refuse room for which a 12 SF QH deduction is already taken.

The only way we could get to the 74 SF claimed is to include the entire area marked in blue above, which includes the refuse room, for which the applicant is already claiming a 12 SF quality housing credit as QH2. Every area measurement in this drawing is either demonstrably wrong, or should be viewed with suspicion, not because the computer generated calculations are in error, but because the lines delineating spaces were drawn incorrectly.

Are these differences material?

While we cannot evaluate the ZD1 for FAR compliance due to the lack of information on the buildings that will remain on the zoning lot, the Z-series plans include a building survey for the buildings that will remain. These buildings have 8,303.4 ZSF. When this is added to the 46,777 ZSF that the ZD1 lists, the proposal is 55,080.4 ZSF. With a zoning lot of 11,017 SF and 5.0 maximum FAR allowed in this district, only 55,085 SF is allowed here. Just the one hallway puts the entire building out of compliance, to say nothing of the other errors. Clearly, these errors are material to the legality of the building proposed. When the underrepresentation of GFA is combined with the overrepresentation of deducted areas, the in the low thousands of square feet of ZFA overbuilt according to the 5.0 maximum FAR allow under ZR 111-20.

What's next?

As demonstrated, the building proposed is larger than what the ZD1 states and larger than zoning allows; the DOB must require new plans and a new ZD1. Because there was such a clear and extensive measurement error, which would require new building plans, I stopped my review of these plans. Consequently, there may be other significant errors that I did not yet identify.

But other than requiring new plans, should anything else be done? The last zoning drawing my office challenged (249 East 62nd Street, job number 122975995) also had serious errors regarding the *arithmetic* found on the ZD1. And now I am concerned that I did not double-check any of the area measurements found in that drawing. Frankly, these last two drawings have me concerned. Our system only works when we can have confidence in the information found in the drawing and that we are not wondering if that long column of numbers is added correctly!

The ZD1 includes some strong language regarding the consequences for submitting incorrect information, including: "Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment or both." Filing false information may result in the professional from being barred from filing other applications. Considering the materiality of the errors identified herein, I encourage the DOB to consider investigating what happened here. Was this just an error made by a draftsman improperly using standards? Or was there a willful attempt to take floor area that this property did not generate?

I will consult with my client who may very well be forwarding this on to other agencies. It would be more meaningful, however, if the DOB recognized the seriousness of these errors to our larger system and acted on its own.

Thank you for your attention and hard work to make New York City a better place. Should you have any questions or would like to discuss, please feel free to contact me at 917-612-7478 or george@georgejanes.com.

Sincerely,



George M. Janes, AICP
George M. Janes & Associates

For:



Lynn Ellsworth
Tribeca Trust

Attachments: ZD1 for 65 West Broadway
Z-Series plans for 65 West Broadway



ZD1 Zoning Diagram
Must be typewritten.

☒ Orient and affix BIS job number label here ☒

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

☐ Yes ☐ No

Location Information

House No(s) 65
Street Name WEST BROADWAY
Borough MANHATTAN
Block 133
Lot 15
BIN 1086176

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently made a false statement or to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

NAME (PLEASE PRINT)



P.E.R.A. SEAL (APPLY SEAL, SIGN AND DATE OVER SEAL)

Internal Use Only

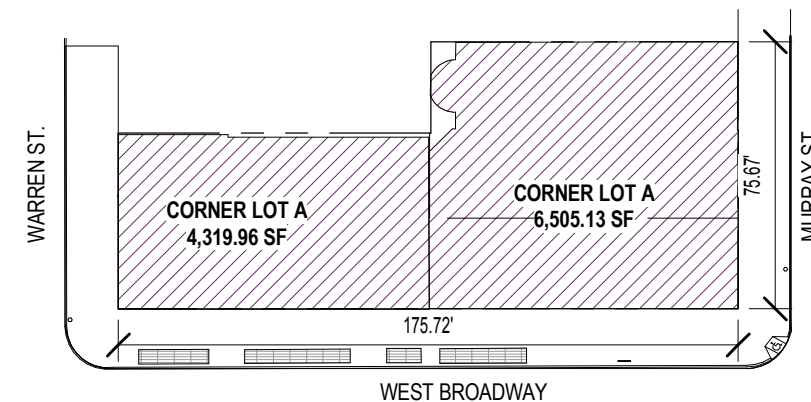
BIS Doc #

PLAN EXAMINER'S SIGN AND DATE

ISSUANCE 7/09

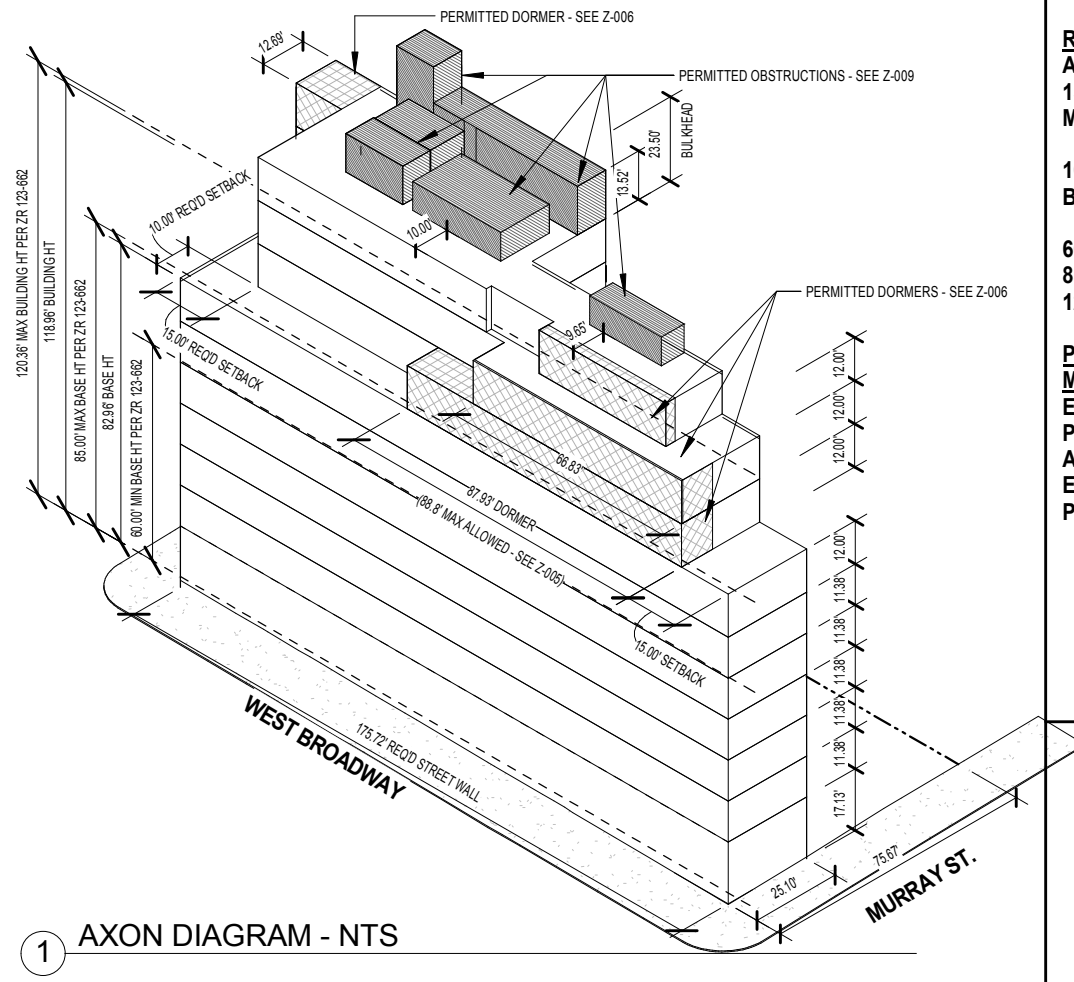
REQUIRED SETBACKS
AS PER ZR 123-662:
15'-0" SETBACK @ WARREN ST & MURRAY ST ABOVE BASE.
10'-0" SETBACK @ WEST BROADWAY ABOVE BASE.
60'-0" MIN. BASE HEIGHT.
85'-0" MAXIMUM BASE HEIGHT.
120'-0" MAXIMUM BUILDING HEIGHT.

PERMITTED OBSTRUCTIONS ABOVE
MAX. BUILDING HEIGHT
ELEVATOR AND STAIR BULKHEAD PER ZR 23-62(g),
ACCESSORY MECHANICAL ENCLOSURE PER ZR 23-62(g),
PARAPET WALLS PER ZR 23-62(j)

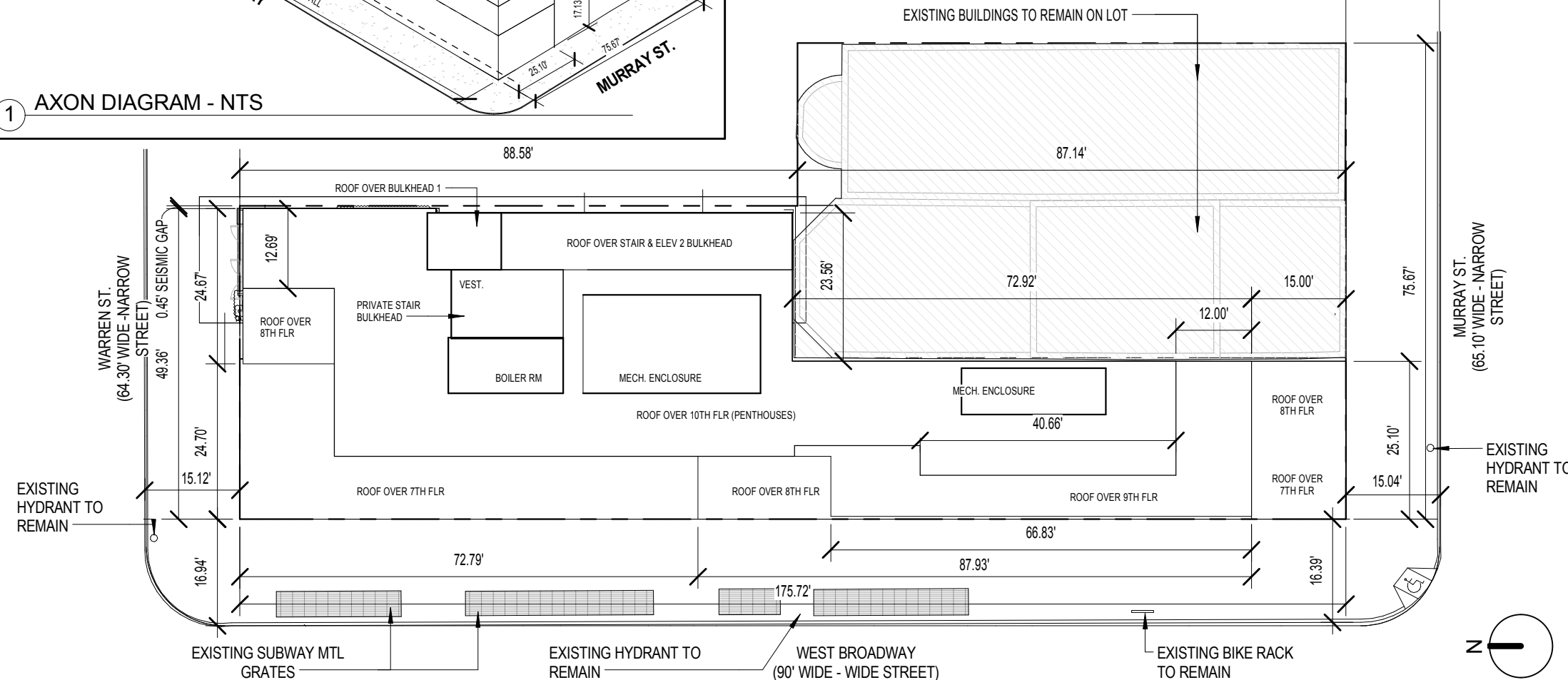


LOT AREA: 11,017 SF
LOT COVERAGE: 10,852 SF
LOT COVERAGE PERCENTAGE: 98.3%
MAX LOT COVERAGE: 100% FOR CORNER LOT

2 LOT COVERAGE DIAGRAM
1" = 50'-0"



1 AXON DIAGRAM - NTS



3 SITE PLAN DIAGRAM
1" = 20'-0"



ZD1 Zoning Diagram

Must be typewritten.
Sheet _____ of _____

1	Applicant Information <i>Required for all applications.</i>
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Last Name		First Name		Middle Initial
Business Name			Business Telephone	
Business Address			Business Fax	
City	State	Zip	Mobile Telephone	
E-Mail			License Number	

2	Additional Zoning Characteristics <i>Required as applicable.</i>
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3	BSA and/or CPC Approval for Subject Application <i>Required as applicable.</i>
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Board of Standards & Appeals (BSA)

- | | | |
|--|----------------|---|
| <input type="checkbox"/> Variance | Cal. No. _____ | Authorizing Zoning Section <u>72-21</u> |
| <input type="checkbox"/> Special Permit | Cal. No. _____ | Authorizing Zoning Section _____ |
| <input type="checkbox"/> General City Law Waiver | Cal. No. _____ | General City Law Section _____ |
| <input type="checkbox"/> Other | Cal. No. _____ | |

City Planning Commission (CPC)

- | | | |
|---|-----------------|----------------------------------|
| <input type="checkbox"/> Special Permit | ULURP No. _____ | Authorizing Zoning Section _____ |
| <input type="checkbox"/> Authorization | App. No. _____ | Authorizing Zoning Section _____ |
| <input type="checkbox"/> Certification | App. No. _____ | Authorizing Zoning Section _____ |
| <input type="checkbox"/> Other | App. No. _____ | |

4	Proposed Floor Area <i>Required for all applications. One Use Group per line.</i>
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[illegible]

ZD1

Sheet _____ of _____

4	Proposed Floor Area <i>Required for all applications. One Use Group per line.</i>
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[illegible]

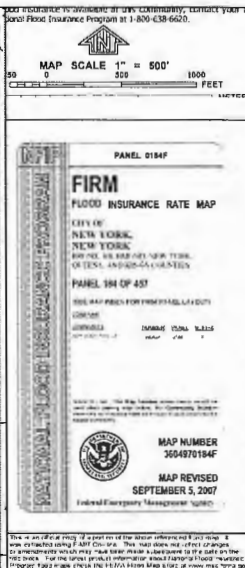
Total Zoning Floor Area	
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ZONING CALCULATIONS

ADDRESS: 65 WEST BROADWAY, NEW YORK, NY 10007
BLOCK: 131, LOT: 15

APPLICATION IS WITHIN COMMUNITY DISTRICT 1, INSIDE THE MANHATTAN CORE

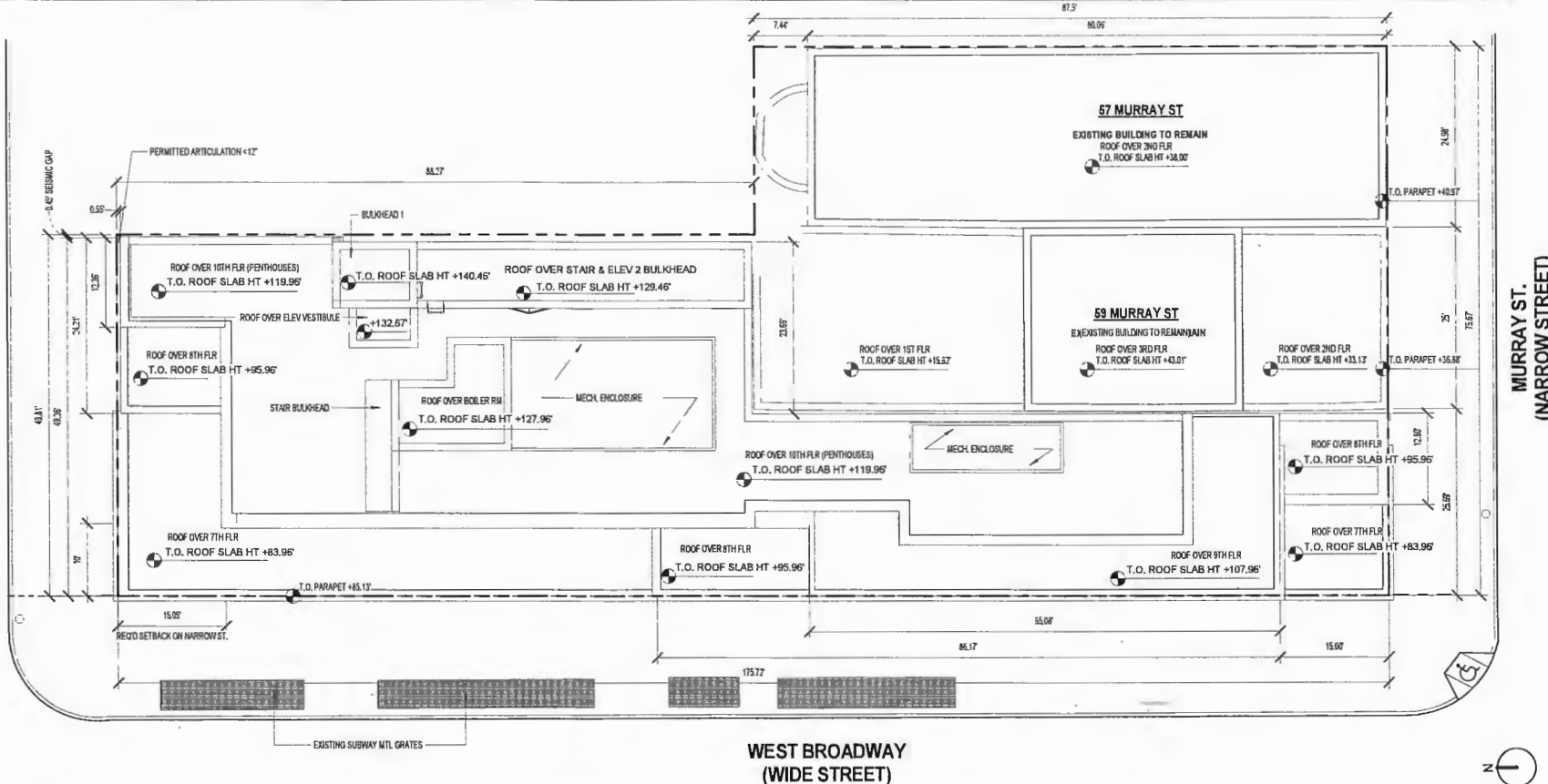
APPLICABLE SECTION	
MAP 12: 35-23 (a)	1. ZONING DISTRICT C6-3A (RBA EQUIVALENT) SPECIAL TRI-DECA MIXED USE DISTRICT AREA A1 2. LOT AREA 11,017 SF
35-20	1. USES PERMITTED USES PERMITTED: USE GROUPS 1-12 USE GROUP 6 (EATING & DRINKING ESTABLISHMENT) USE GROUP 12 (EATING & DRINKING ESTABLISHMENT) ACCESSORY STORAGE USE GROUP 2 (RESIDENTIAL) USE GROUP 8 (RETAIL)
111-200 (f)	4. FLOOR AREA FLOOR AREA PERMITTED: 11,017 SF X 5 FAR = 55,085 SF (SEE SURVEY ON SHEET Z-002) FLOOR AREA PROPOSED: (SEE FLOOR AREA SCHEDULE, ZONING SHEET Z-001) 57 MURRAY ST - EXISTING COMMERCIAL 4,145 SF 59 MURRAY ST - EXISTING COMMERCIAL 4,150 SF PROPOSED COMMERCIAL 5,167 SF RESIDENTIAL 41,602 SF PROPOSED TOTAL 46,769 SF TOTAL FLOOR AREA: COMMERCIAL 13,471 SF RESIDENTIAL 41,602 SF TOTAL 55,073 SF
23-22 23-24 35-40	1. DENSITY FACTOR FOR DWELLING UNITS C6-3A (RBA EQUIVALENT) 500 MAXIMUM RESIDENTIAL FLOOR AREA: MAX. FA (SEE ABOVE) 55,085 SF PROPOSED NON-RESIDENTIAL FA 13,471 SF REMAINING FA 41,614 SF MAXIMUM NUMBER OF DWELLING UNITS 41,614 SF / 500 = 83 D.U. PROPOSED NUMBER OF DWELLING UNITS 28 D.U. (COMPLIES)
23-541 35-301	6. YARD REGULATIONS NO REAR YARD REQUIRED WITHIN 100' OF CORNER
23-153	7. LOT COVERAGE REGULATIONS MAX. 100% FOR CORNER LOTS
35-462	8. HEIGHT & SETBACK REGULATIONS SEE Z-004 (COMPLIES)
35-651	9. STREET WALLS SEE Z-006 (COMPLIES)
13-18	10. ACCESSORY OFF-STREET PARKING REGULATIONS NONE REQUIRED NONE PROVIDED
35-62	11. LOADING REQUIREMENTS RETAIL FLOOR AREA FOR PARKING/DWELLING CALCULATIONS: RETAIL ZONING FLOOR AREA 5,167 SF BELOW-GRADE SELLING SPACE 5,590 SF TOTAL FOR PARKING/DWELLING CALC. 10,757 SF 0-35,000 SF: NO LOADING BERTHS REQUIRED PROVIDED: 0 BERTHS (COMPLIES)
35-70	12. BICYCLE PARKING SEE Z-011 (COMPLIES)
25-41 33-03	13. STREET TREES STREET FRONTAGE WEST BROADWAY 175.72 WARREN STREET 43.37 MURRAY STREET 75.87 TOTAL 394.96 REQUIRED 390.75 / 25 = 12 TREES TREES PROVIDED: ON SITE 00 OFF SITE 12 TOTAL 12 (Off-site trees to be coordinated with Department of Parks and Recreation)
28-00	14. QUALITY HOUSING REGULATIONS SEE Z-011 (COMPLIES)



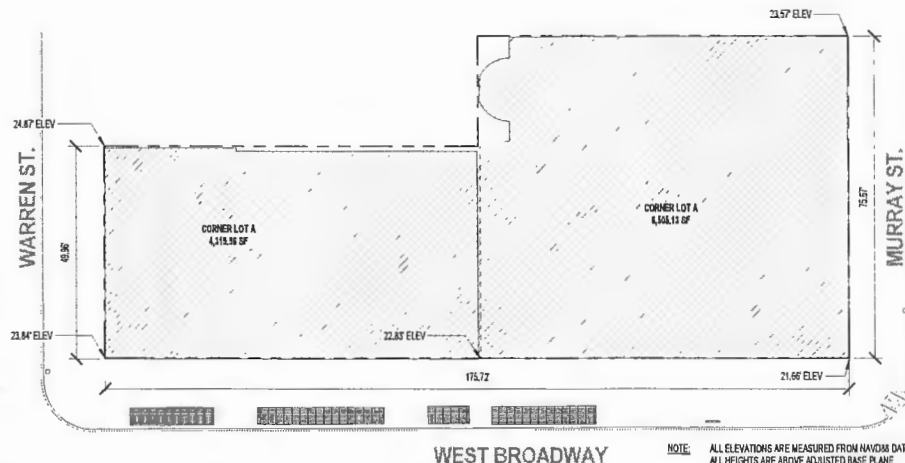
NOTE: AS PER PANEL 104 OF MAP 304970104F, THIS SITE DOES NOT LIE WITHIN A FLOOD HAZARD AREA AS DESIGNATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

WARREN ST.
(NARROW STREET)

2. ZONING SITE PLAN
3/32" = 1'-0"



WEST BROADWAY
(WIDE STREET)



LEGEND

COVERAGE
BASE PLANE

CORNER LOT A
CORNER LOT B

ADJUSTED BASE PLANE

LOT COVERAGE IN A 5,505.13 SF 60.35% X 22.47' = 14.24'
LOT COVERAGE IN B 4,313.96 SF 38.65% X 23.85' = 9.40'
TOTAL 10,819.09 SF 100.00% 23.70'

ADJUSTED BASE PLANE: EL. 23.7'

NOTE: ALL ELEVATIONS ARE MEASURED FROM NAVD83 DATUM
ALL HEIGHTS ARE ABOVE ADJUSTED BASE PLANE

5. BASE PLANE CALCULATION
1" = 20'-0"

PROPOSED BUILDING - FLOOR AREA SCHEDULE

FLOOR	USE	GROSS FLOOR AREA (SF)	MECH. DEDUCTIONS (SF)	OH. DEDUCTIONS (SF)	WALL DEDUCTIONS (SF)	ZONING FLOOR AREA (SF)	DWELLING UNITS
SUBCELLAR	RESIDENTIAL	3088 SF	-	-	-	-	-
	RETAIL	2627 SF	-	-	-	-	-
CELLAR	RESIDENTIAL	1106 SF	-	-	-	-	-
	RETAIL	2963 SF	-	-	-	-	-
GROUND	RESIDENTIAL	1191 SF	38 SF	-	-	1153 SF	-
	RETAIL	5183 SF	16 SF	-	-	5167 SF	-
2ND	RESIDENTIAL	6395 SF	1590 SF	1890 SF	-	2915 SF	2
3RD	RESIDENTIAL	5185 SF	290 SF	558 SF	-	4337 SF	4
4TH	RESIDENTIAL	6368 SF	383 SF	699 SF	-	5286 SF	4
5TH	RESIDENTIAL	6369 SF	378 SF	699 SF	-	5292 SF	4
6TH	RESIDENTIAL	6369 SF	378 SF	699 SF	-	5292 SF	4
7TH	RESIDENTIAL	6366 SF	378 SF	699 SF	-	5289 SF	4
8TH	RESIDENTIAL	5216 SF	291 SF	482 SF	-	4443 SF	3
9TH	RESIDENTIAL	4655 SF	291 SF	364 SF	-	4000 SF	2
10TH	RESIDENTIAL	3668 SF	218 SF	112 SF	-	3438 SF	1
ROOF	RESIDENTIAL	1460 SF	1303 SF	-	-	157 SF	-
	RETAIL	57436 SF	5538 SF	6102 SF	-	41602 SF	-
TOTAL	RETAIL	10773 SF	16 SF	-	-	5167 SF	-
	TOTAL	68209 SF	5554 SF	6102 SF	-	46769 SF	28

57 MURRAY - FLOOR AREA SCHEDULE*

FLOOR	USE	GROSS FLOOR AREA (SF)	ZONING FLOOR AREA (SF)
SUBCELLAR	STORAGE	2072.29 SF	-
CELLAR	KITCHEN & STORAGE	2072.29 SF	-
GROUND	EATING & DRINKING	2072.29 SF	2072.29 SF
2ND	EATING & DRINKING	2072.29 SF	2072.29 SF
TOTAL		8289.16 SF	4144.58 SF

*NOTE: NO DEDUCTIONS TAKEN AT THIS TIME

59 MURRAY - FLOOR AREA SCHEDULE*

FLOOR	USE	GROSS FLOOR AREA (SF)	ZONING FLOOR AREA (SF)
CELLAR	STORAGE	2151.31 SF	-
GROUND	EATING & DRINKING	2151.31 SF	2151.31 SF
2ND	EATING & DRINKING	1253.55 SF	1253.55 SF
3RD	VACANT	753.96 SF	753.96 SF
TOTAL		6310.13 SF	4158.82 SF

Lawrence Levine, RA

APPROVED
Under Directive 2 of 3975
Date: 05/30/2017

NYC Development Hub

ISSUE/REVISION	DATE
3 HUB RE-SUBMISSION 2	2017.03.27
2 HUB RE-SUBMISSION	2017.02.23
1 ISSUED FOR HUB	2016.12.29

TOCCI ENGINEERING PLLC

79 NORTH 7TH ST.
BROOKLYN, NY 11249
T: (718) 702-7373

GEA CONSULTING ENGINEERS

545 EIGHTH AVE.
NEW YORK, NY 10018
T: (212) 643-8006
F: (212) 643-8016

BKSK

BKSK ARCHITECTS LLP
28 W 25th Street New York, New York 10010
t: 212.807.9600 www.bksk.com

PROJECT NAME

65 WEST BROADWAY
NEW YORK, NY 10007

DRAWING TITLE

ZONING MAPS &
CALCULATIONS

STAMP & SIGNATURE

ARCHITECT, AIA

PROJECT NO.

1520

DATE:

03.27.2017

SCALE:

As indicated

SHEET NO.

2 of 46

Z-001.00

LEGEND:

- CB - CATCH BASIN
- TC - TOP OF CURB
- BC - BOTTOM OF CURB
- LG - LEGAL GRADE
- TR - TOP OF WALL
- BT - BOTTOM OF WALL
- CL - CHAIN LINK FENCE
- ASPH - ASPHALT PAVEMENT
- CONC - CONCRETE PAVEMENT
- FIN - FINE HYDRANT
- S - SEWER
- E - ELECTRIC
- W - WATER
- UV - GAS VALVE
- WV - WATER VALVE
- CV - GAS VALVE
- TV - TELEPHONE
- T/P - TOP PROPERTY
- LP - LIGHT POLE
- UP - UTILITY POLE
- MP - MONITORING WELL
- LO - LEGAL GRADE
- RD - BACK OF SIDEWALK
- DC - DEPRESSURE CURB
- RD - ROOF DRAIN

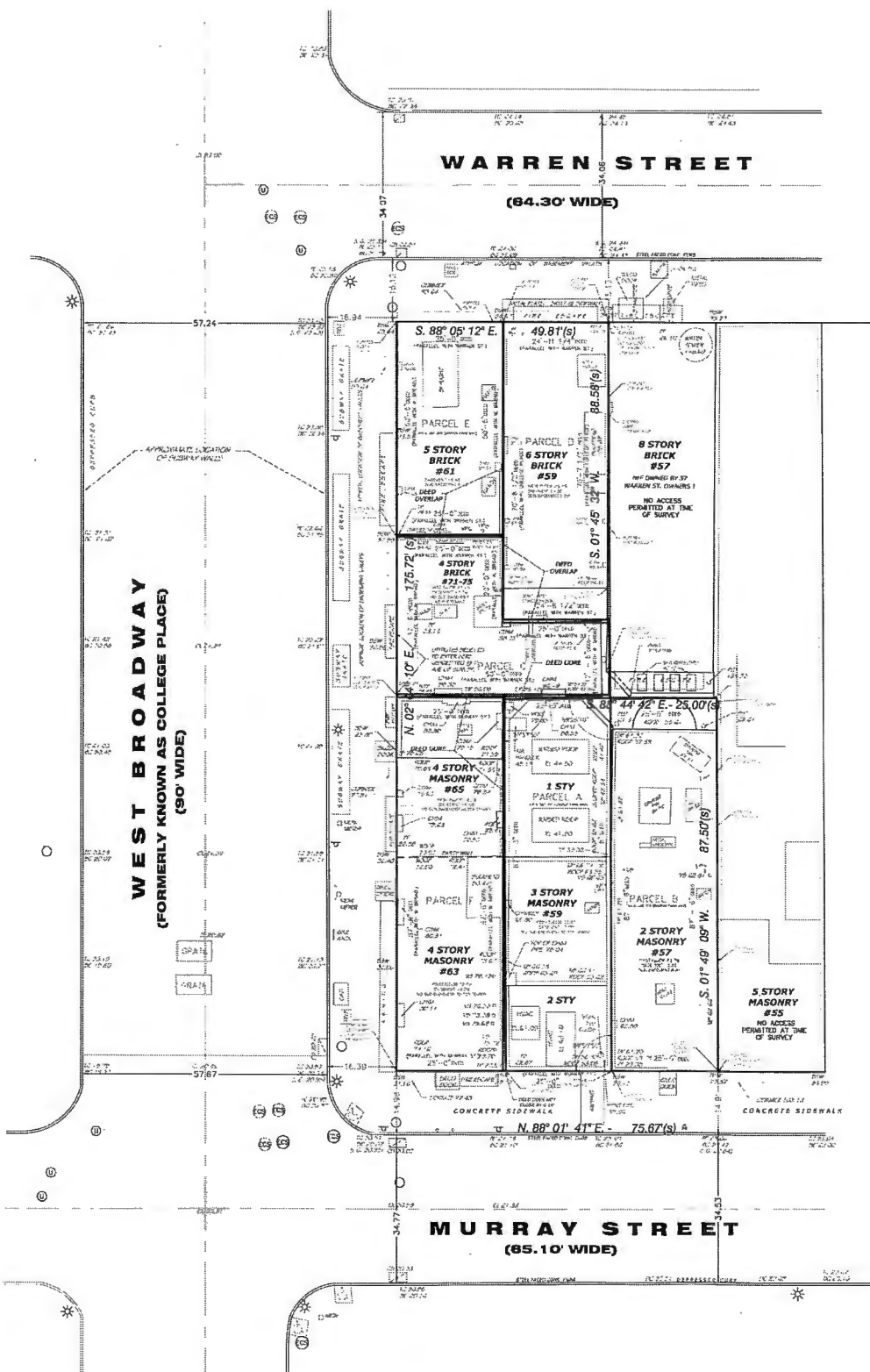
NOTES:

- ELEVATIONS SHOWN ON THIS SURVEY MAP REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 AS ESTABLISHED AND MAINTAINED BY NATIONAL GEODETIC SURVEY OF THE NATIONAL OCEANIC SERVICE, NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION OR SUCCESSOR AGENCY.
- MANHATTAN BORO DATUM BENCHMARK 75 WAS USED FOR THIS SURVEY AND CONVERTED TO NORTH AMERICAN VERTICAL DATUM OF 1988 USING TABLES 104-7.5.1 THROUGH 104-7.5.5.
- ALL DIMENSIONS SHOWN HEREON ARE IN THE UNITED STATES STANDARD OF MEASUREMENT.
- THIS IS TO CERTIFY THAT THERE ARE NO STREAMS OR NATURAL WATER COURSES VISIBLE ON THE PREMISES SHOWN HEREON.
- VAULTS, IF ANY, BELOW SIDEWALK LEVEL, ARE ROUGHLY LOCATED OR SHOWN HEREON. FURTHER INVESTIGATION REQUIRED BEFORE CONSTRUCTION.
- THE SUBSURFACE UTILITY INFORMATION SHOWN HEREON HAS BEEN EXTRACTED FROM INFORMATION OBTAINED FROM THE VARIOUS MUNICIPAL DEPARTMENTS AND PRIVATE COMPANIES AND IS PLACED ON THIS SURVEY FOR SCHEMATIC PURPOSES ONLY. SUCH INFORMATION IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS EITHER BY SAID DEPARTMENTS OR COMPANIES NOR BY THE UNDERSIGNED. BEFORE ANY DRILLING, EXCAVATION OR CONSTRUCTION ON OR NEAR THE PREMISES SHOWN HEREON, IT IS REQUIRED BY NEW YORK STATE INDUSTRIAL CODE 53 THAT THE SUBSURFACE UTILITIES BE MARKED OUT AND IDENTIFIED BY THE COMPANIES OR AGENCIES HAVING JURISDICTION.
- UTILITY MAPS SUPPLIED BY RESPECTIVE UTILITY AND GOVERNMENTAL AGENCY, AND AS SUCH IT IS RECOMMENDED THAT BEFORE CONSTRUCTION COMMENCES THAT THE APPROPRIATE UTILITIES ARE CONTACTED. THE UTILITIES SHOWN ON THIS SURVEY MAP HAVE BEEN LOCATED BY FIELD OBSERVATIONS AND GUARANTEE IS GIVEN AS TO THE COMPLETENESS, LOCATION, SIZE OR TYPE OF UTILITY. IT IS RECOMMENDED THAT BEFORE CONSTRUCTION COMMENCES THAT THE APPROPRIATE UTILITIES ARE CONTACTED.
- ESTABLISHED LEGAL GRADES SHOWN PER FINAL SECTION MAP #5 AS SHOWN ON THE MAP FOR 80' SCALE SECTIONAL MAP FOUND IN THE CITY OF NEW YORK, OFFICE OF THE PRESIDENT, BOROUGH OF MANHATTAN, TOPOGRAPHICAL BUREAU.
- STREET NAMES AND R.O.W. WIDTHS, BLOCK, AND LOT NUMBERS AS PER CURRENT TAX MAPS.
- OFFSETS (IF SHOWN) ARE FOR SURVEYING REFERENCES ONLY AND ARE NOT TO BE USED IN CONSTRUCTION OF ANY TYPE.

Flood Map Note:

BY GRAPHIC PLOTTING ONLY, PART OF THIS PROPERTY MAY LIE WITHIN ZONE X (UNSHADED) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 3604970184F, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 5, 2007.

THE PROPERTY DOES NOT LIE WITHIN A "SPECIAL FLOOD HAZARD AREA".



#57 MURRAY STREET:
Lot Area = 2,187.44 sq.ft. (Deed)
1st Floor = 2,072.29± sq.ft.
2nd Floor = 2,072.29± sq.ft.

#53 MURRAY STREET:
Lot Area = 2,181.49 sq.ft. (Deed)
1st Floor = 2,151.31± sq.ft.
2nd Floor = 1,253.55± sq.ft.
3rd Floor = 753.96± sq.ft.

REVISIONS	DATE	BY	REASON
1	11-25-16	JV	ISSUED FOR PERMIT
2	03-27-17	JV	ISSUED FOR PERMIT
3	03-27-17	JV	ISSUED FOR PERMIT
4	03-27-17	JV	ISSUED FOR PERMIT
5	03-27-17	JV	ISSUED FOR PERMIT

AIR RIGHTS SURVEY
SITUATED IN
THE BOROUGH OF MANHATTAN
CITY OF NEW YORK
STATE OF NEW YORK
57 & 59 MURRAY STREET
TAX LOT 15 BLOCK 133

True North Surveyors, P.C.
111 Kensington Road, Whitehouse Station, NJ 08809
phone: (908) 534-6240 fax: (908) 534-6237

John J. Vida
Lawrence Levine, RA
APPROVED
Under Directive 2 of 1995
Date: 03/20/2017
NYC Development Hub

ISSUE/REVISION	DATE
3 HUB RE-SUBMISSION 2	2017.03.27
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T: (718) 702-7373

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T: (212) 643-8006
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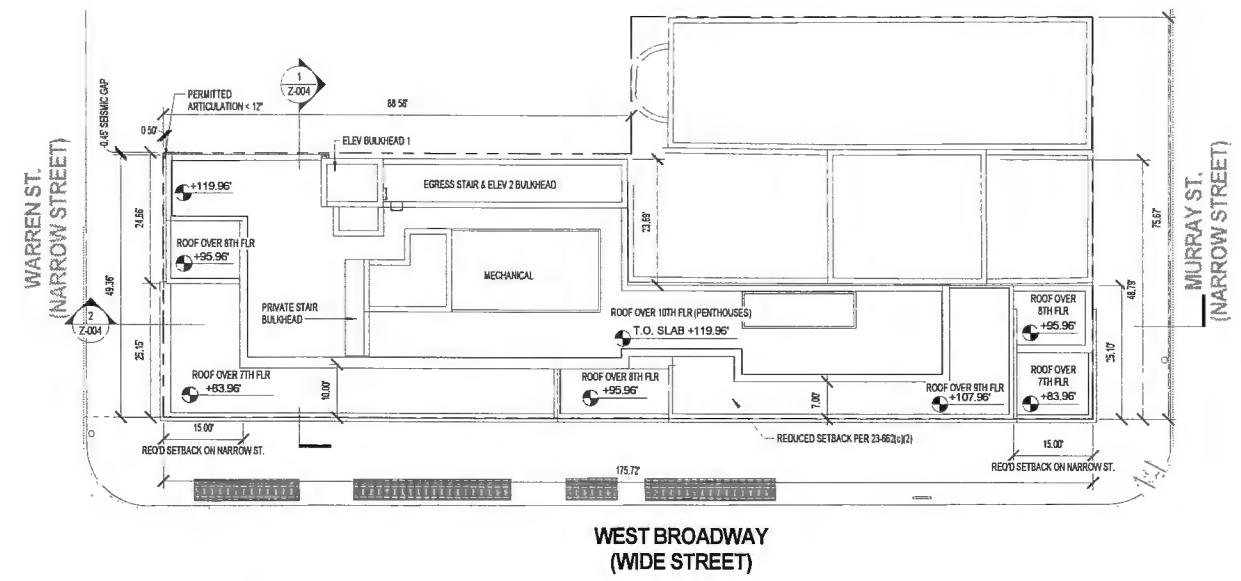
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PROJECT NAME
65 WEST BROADWAY
NEW YORK, NY 10007

DRAWING TITLE
AIR RIGHTS SURVEY

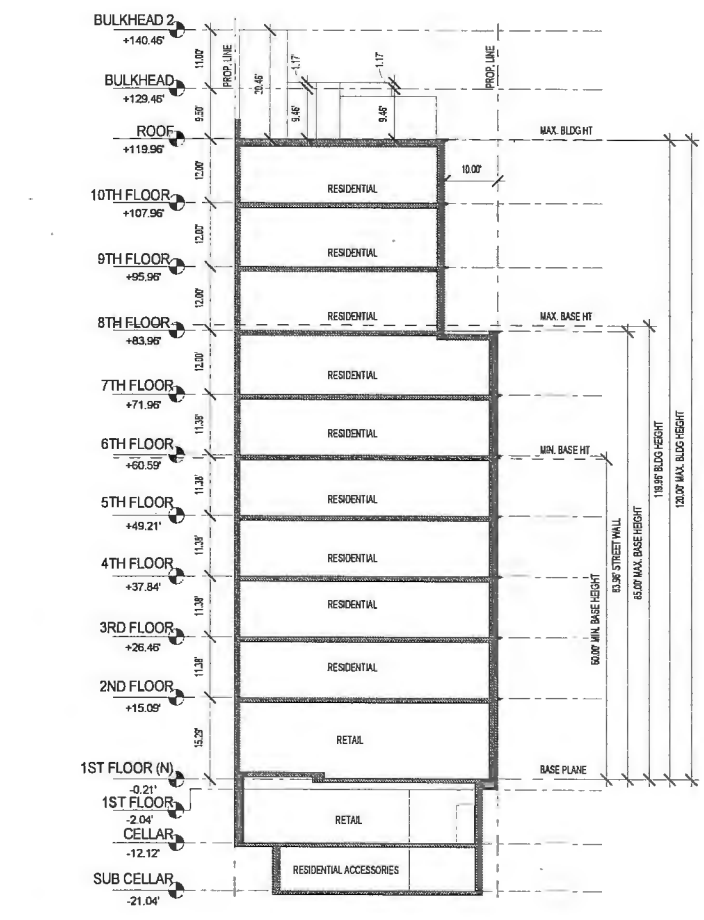
STAMP & SIGNATURE	PROJECT NO.
ARCHITECT, AIA	1520
	DATE: 03.27.2017
	SCALE:
	SHEET NO. 4 of 46

HEIGHT & SETBACK	
35-652(a)	HEIGHTS
23-652(a)	TABLE 1
35-652	MAX. BASE HEIGHT 60'
23-652(a)(1)	MAX. BASE HEIGHT 85'
	MAX. BUILDING HEIGHT 120'
35-652	SETBACKS
23-652(a)(1)	10' FROM WEST BROADWAY STREET WALL
	15' FROM WARREN & MURRAY STREET WALL
	DORMERS PERMITTED - (SEE Z-005)
23-652(a)(2)	REDUCED SETBACKS
	MAX. 7' FROM STREET WALL
	MAX. 10'/15' FROM STREET LINE
23-652(a)(3)	SETBACK DEPTH MAY INCLUDE RECESSES

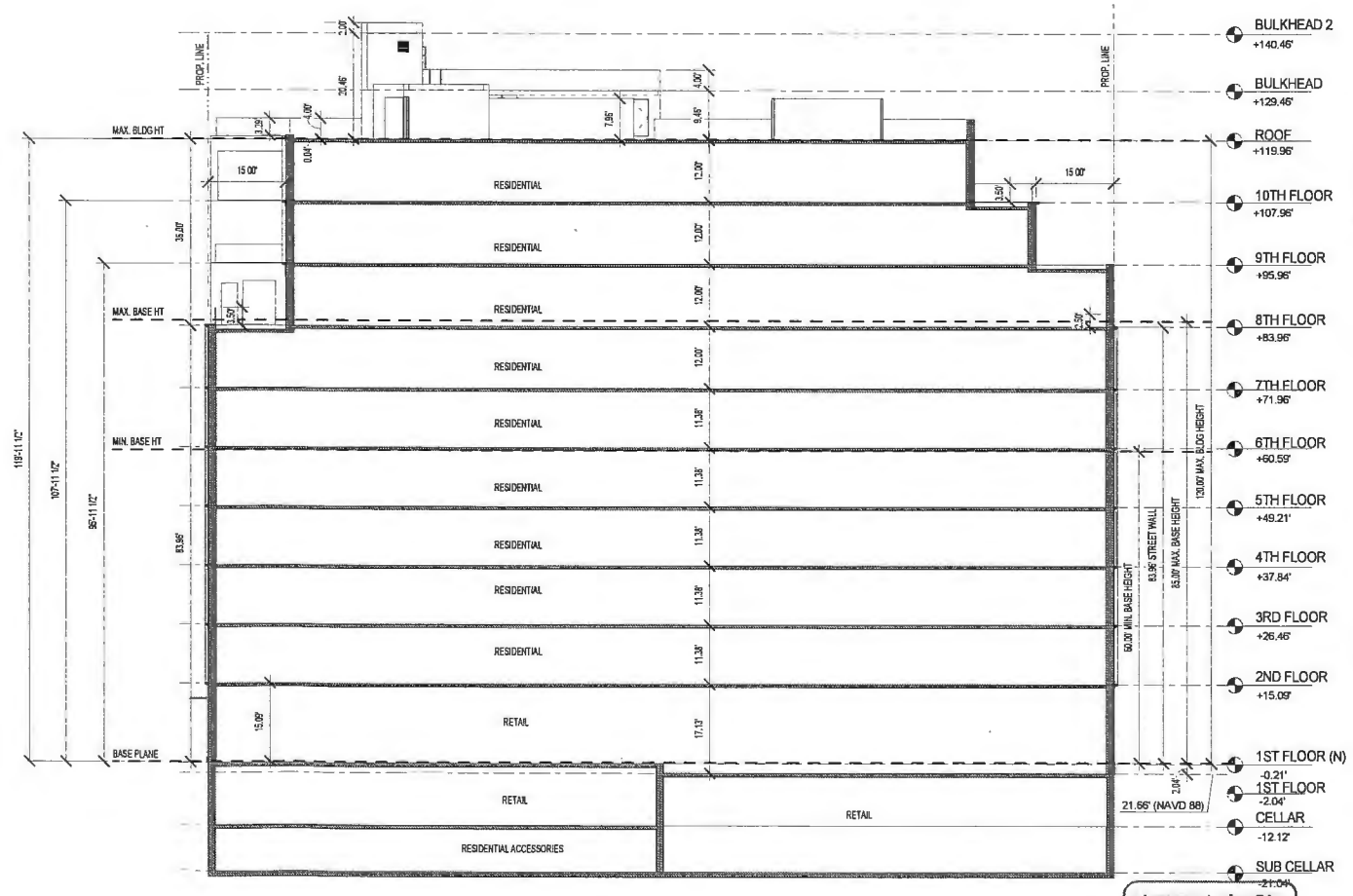


③ HEIGHT & SETBACK ANALYSIS
1/16" = 1'-0"

NOTES:
1- ALL ELEVATIONS SHOWN IN THIS SHEET ARE
TAKEN FROM THE ADJUSTED BASE PLANE, SEE
SHEET Z-001 FOR CALCULATIONS
2-REFER TO SHEET Z-006 FOR ST. WALL &
RECESS CALCULATIONS



① ZONING SECTION 1
1/16" = 1'-0"



② ZONING SECTION 2
1/16" = 1'-0"

Lawrence Levine, RA
APPROVED
Under Directive 2 of 1975
Date: 05/10/2017
NYC Development Hub

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BROOKLYN, NY 11249
T: (718) 702-7373

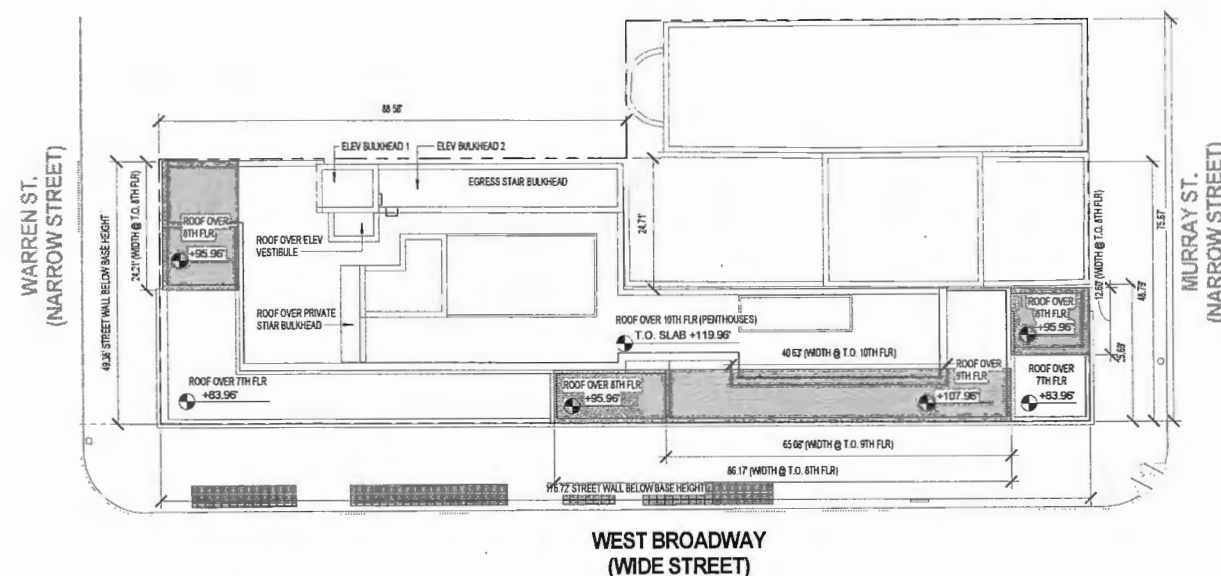
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545 EIGHTH AVE.
NEW YORK, NY 10018
T: (212) 643-8006
F: (212) 643-8016

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28 W 25th Street New York, New York 10010
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PROJECT NAME
65 WEST BROADWAY
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DRAWING TITLE
HEIGHT & SETBACK

STAMP & SIGNATURE
PROJECT NO. 1520
DATE: 03.27.2017
SCALE: As Indicated
SHEET NO. 5 of 46
ARCHITECT, AIA



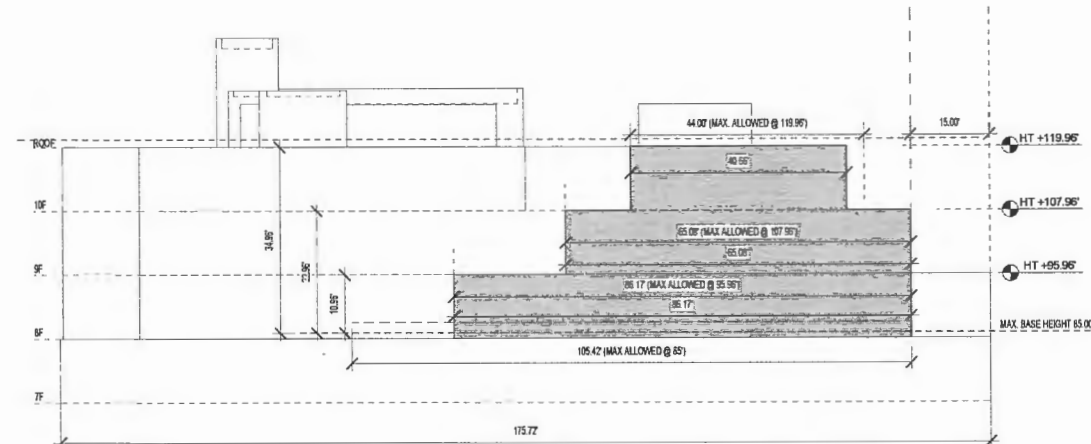
1 DORMER KEY PLAN
1/16" = 1'-0"

WEST BROADWAY DORMER CALCULATION
AT MAXIMUM BASE HEIGHT OF 85'
HIGHEST STORY BELOW MAX. BASE HEIGHT: 7TH FLOOR
STREET WALL WIDTH AT 7TH FLOOR: 175.72'
MAXIMUM AGGREGATE WIDTH OF DORMER: 175.72' x 60% = 105.4'

DORMER DECREASE CALCULATION @ 95.96'
MAX ALLOWED WIDTH: $175.72 \times (100 - 10.96) / (100) = 86.17'$
PROVIDED: 87.83' (COMPLIES)

DORMER DECREASE CALCULATION @ 107.96'
MAX ALLOWED WIDTH: $175.72 \times (100 - 22.96) / (100) = 85.08'$
PROVIDED: 86.83' (COMPLIES)

DORMER DECREASE CALCULATION @ 119.96'
MAX ALLOWED WIDTH: $175.72 \times (100 - 34.96) / (100) = 44.00'$
PROVIDED: 45.77' (COMPLIES)



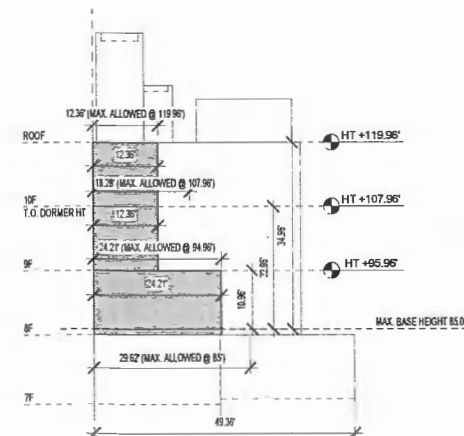
2 WEST BROADWAY DORMER ELEVATION
1/16" = 1'-0"

WARREN ST DORMER CALCULATION
AT MAXIMUM BASE HEIGHT OF 85'
HIGHEST STORY BELOW MAX. BASE HEIGHT: 7TH FLOOR
STREET WALL WIDTH AT 7TH FLOOR: 43.30'
MAXIMUM AGGREGATE WIDTH OF DORMER: 43.30' x 60% = 25.97'

DORMER DECREASE CALCULATION @ 95.96'
MAX ALLOWED WIDTH: $43.30 \times (100 - 10.96) / (100) = 24.21'$
PROVIDED: 24.21' (COMPLIES)

DORMER DECREASE CALCULATION @ 107.96'
MAX ALLOWED WIDTH: $43.30 \times (100 - 22.96) / (100) = 18.28'$
PROVIDED: 12.30' (COMPLIES)

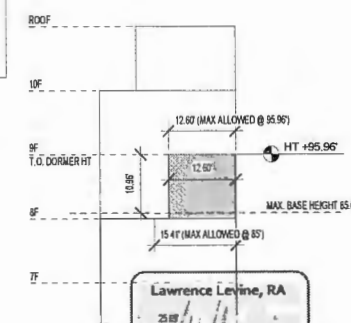
DORMER DECREASE CALCULATION @ 119.96'
MAX ALLOWED WIDTH: $43.30 \times (100 - 34.96) / (100) = 12.30'$
PROVIDED: 12.30' (COMPLIES)



3 WARREN ST DORMER ELEVATION
1/16" = 1'-0"

MURRAY ST DORMER CALCULATION
AT MAXIMUM BASE HEIGHT OF 85'
HIGHEST STORY BELOW MAX. BASE HEIGHT: 7TH FLOOR
STREET WALL WIDTH AT 7TH FLOOR: 25.67'
MAXIMUM AGGREGATE WIDTH OF DORMER: 25.67' x 60% = 15.41'

DORMER DECREASE CALCULATION @ 94.96'
MAX ALLOWED WIDTH: $25.67 \times (100 - 10.96) / (100) = 12.60'$
PROVIDED: 12.60' (COMPLIES)



4 MURRAY ST DORMER ELEVATION
1/16" = 1'-0"

Lawrence Levine, RA
25.67
APPROVED
Under Directive 2 of 1975
Date: 05/10/2017
NYC Development Hub

3	HUB RE-SUBMISSION 2	2017.03.27
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BROOKLYN, NY 11249
T: (718) 702-7373

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NEW YORK, NY 10018
T: (212) 643-8006
F: (212) 643-8016

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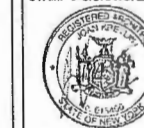
PROJECT NAME

**65 WEST BROADWAY
NEW YORK, NY 10007**

DRAWING TITLE

**DORMER KEY PLAN &
ELEVATIONS**

STAMP & SIGNATURE



ARCHITECT, AIA

PROJECT NO. 1520
DATE: 03.27.2017
SCALE: 1/16" = 1'-0"
SHEET NO. 6 of 46

STREET WALL:

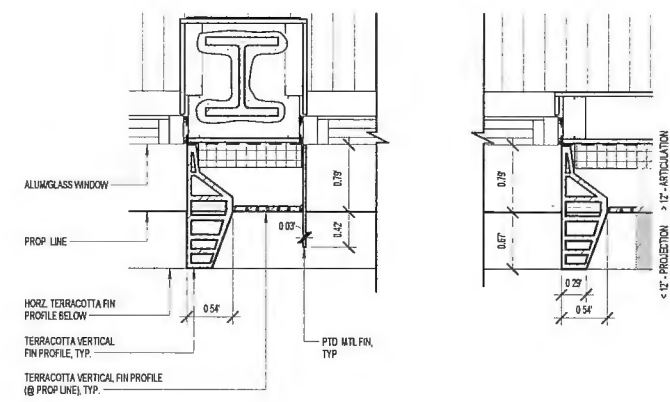
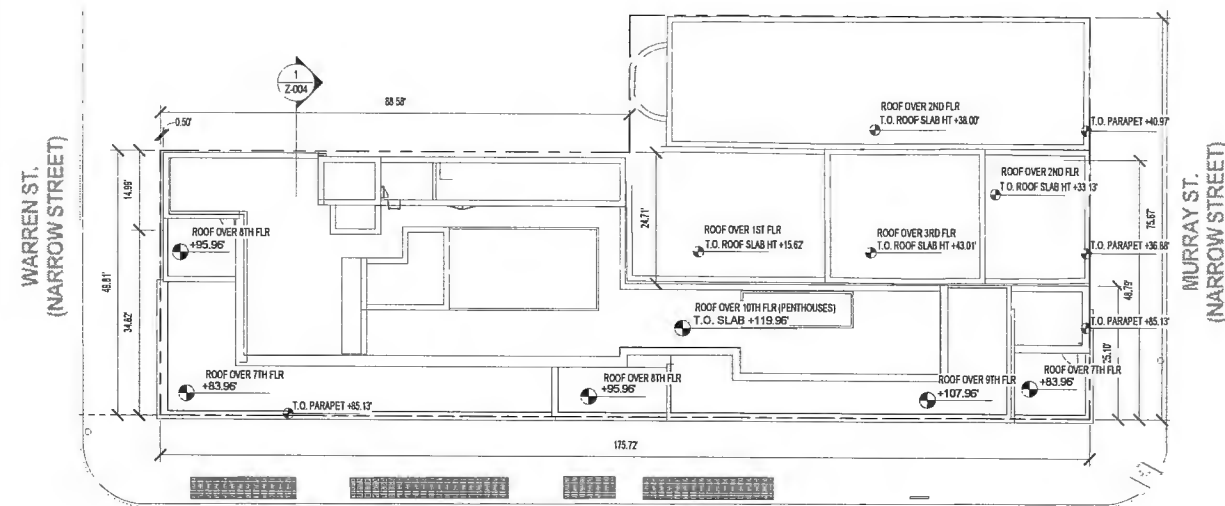
35-651 (b)(1) **STREET WALL**
WEST BROADWAY & NARROW STREETS WITHIN 50' OF INTERSECTION
STREET WALL REQUIRED FOR ENTIRE FRONTAGE OF ZONING LOT
MIN. 60' HEIGHT
LOCATED AT STREET LINE

35-651 (b)(2) RECESSES ABOVE 15' IN HEIGHT (OR 1ST FLOOR CEILING)
MAX. 30% OF AGGREGATE WIDTH OF STREET WALL
MIN. 30' FROM INTERSECTION

35-651 (h) **ARTICULATION**
IN ADDITION TO PERMITTED RECESSES
DEPTH OR PROJECTION
MAX. 12' IS UNLIMITED
MAX. 3' LIMITED TO 50% OF AGGREGATE WIDTH OF STREET WALL

23-692 (e)(5) **SUPER LAW**
QUALITY HOUSING BUILDINGS SHALL BE EXEMPT FROM THIS PROVISION PROVIDED
THE WIDTH OF THE STREET WALL AT THE MAXIMUM BASE HEIGHT IS AT LEAST 45'

STREET WALL PROVIDED AT 80' HEIGHT:
WARREN ST. - 48.30'
W. BROADWAY - 173.72'
MURRAY ST. - 48.79'



1 STREET WALL
1/16" = 1'-0"

5 TYP. ST WALL ARTICULATION PLAN DTL
1" = 1'-0"

WARREN ST WALL CALCULATIONS:

	ALLOWED	PROVIDED
RECESSES ABOVE 15'	49.81' X 30% = 14.94'	NONE (COMPLIES)
ARTICULATIONS UP TO 12'	UNLIMITED	(COMPLIES)
>12' UP TO 3' DEEP	49.81' X 50% = 24.91'	(3.08' X 4) = 12.32' (COMPLIES)

MURRAY ST WALL CALCULATIONS UP TO 80':

	ALLOWED	PROVIDED
RECESSES ABOVE 15'	50.00' X 30% = 15.00'	NONE (COMPLIES)
ARTICULATIONS UP TO 12'	UNLIMITED	(COMPLIES)
>12' UP TO 3' DEEP	50.00' X 50% = 25.00'	NONE (COMPLIES)

WEST BROADWAY ST WALL CALCULATIONS:
TOTAL STREET WALL AREA (TO MIN. BASE HEIGHT): 175.83' X 60' = 10,549.80 SF

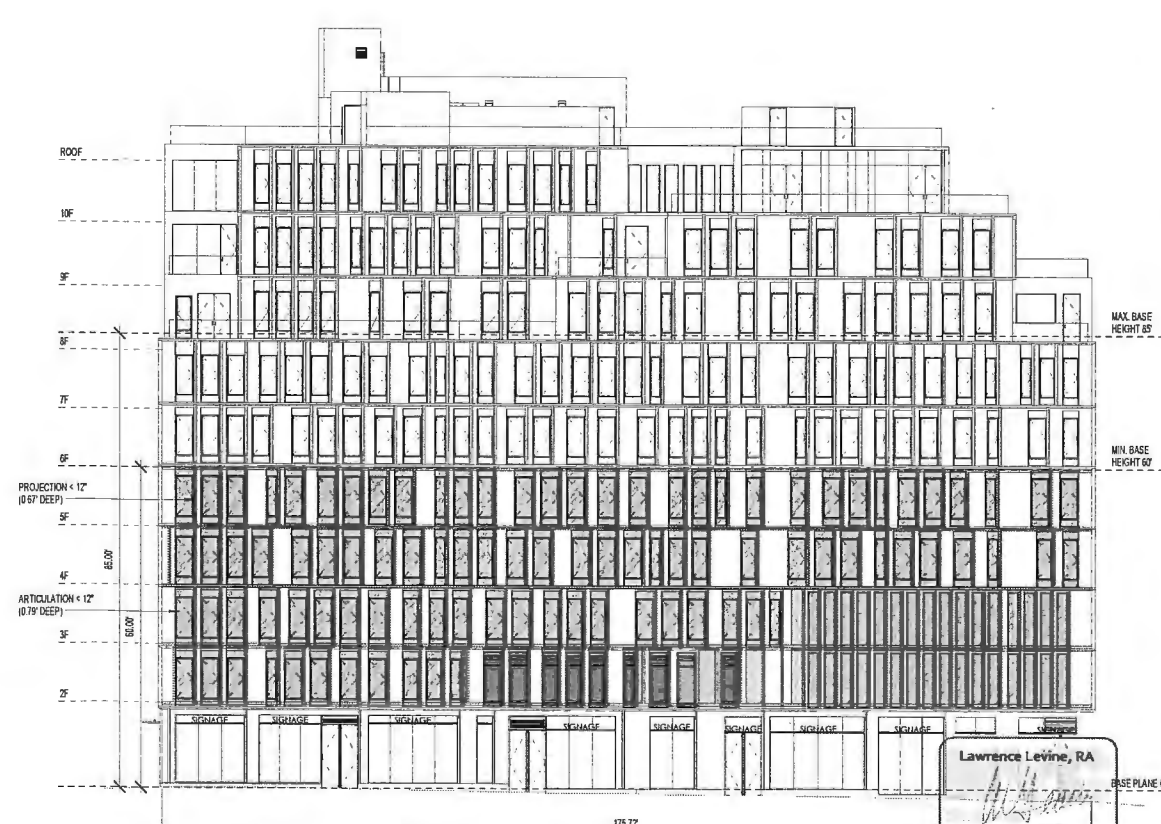
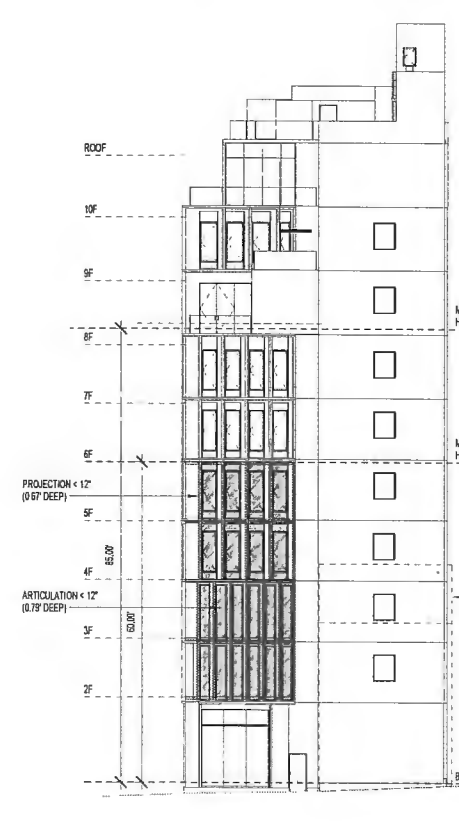
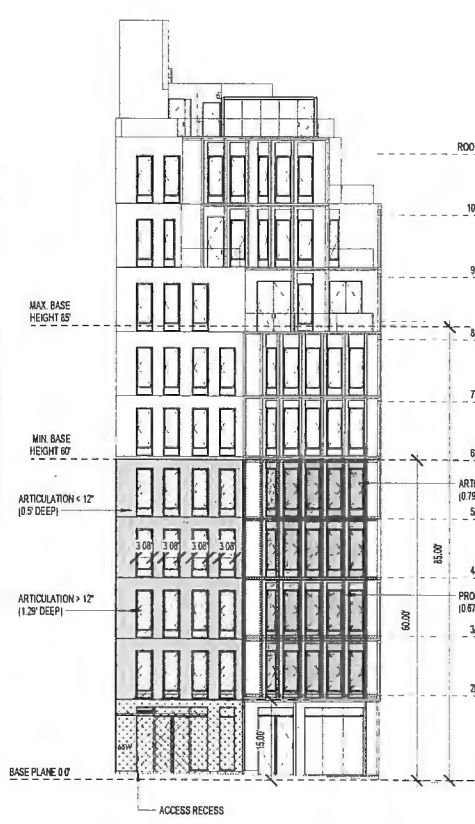
	ALLOWED	PROVIDED
RECESSES ABOVE 15'	175.83' X 30% = 52.75'	NONE (COMPLIES)
ARTICULATIONS UP TO 12'	UNLIMITED	(COMPLIES)
>12' UP TO 3' DEEP	175.83' X 50% = 87.92'	NONE (COMPLIES)

ST WALL LEGEND

[Symbol]	STREET WALL @ STREET LINE
[Symbol]	ARTICULATION < 12' DEEP (UNLIMITED)
[Symbol]	PROJECTION < 12' DEEP (UNLIMITED)

MURRAY ST WALL CALCULATIONS BEYOND 80':

	REQUIRED	PROVIDED
STREET WALL	25.67' X 70% = 17.97'	25.67' (COMPLIES)



4 WARREN ST ELEVATION
1/16" = 1'-0"

3 MURRAY ST ELEVATION
1/16" = 1'-0"

2 WEST BROADWAY STREET WALL ELEVATION
1/16" = 1'-0"

Lawrence Levine, RA
APPROVED
Under Directive 2 of 1975
Date: 05/10/2017
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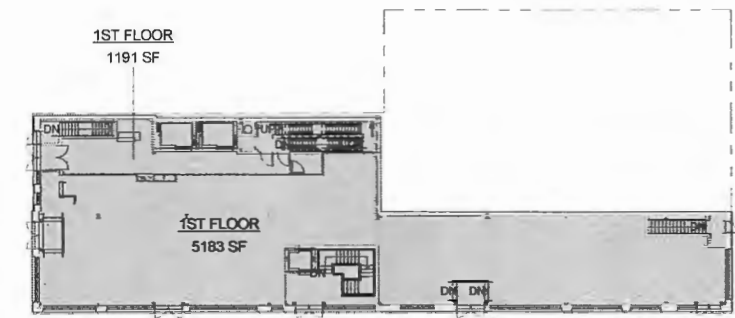
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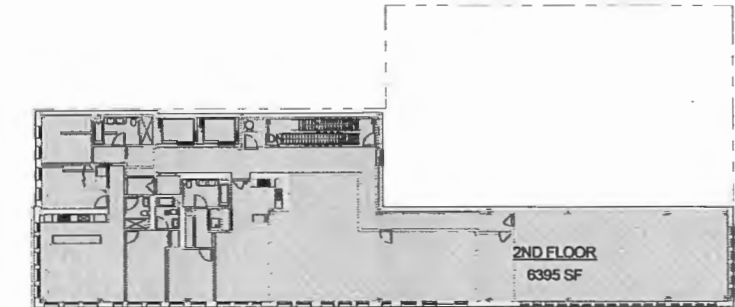
PROJECT NAME
65 WEST BROADWAY
NEW YORK, NY 10007

DRAWING TITLE
STREET WALL

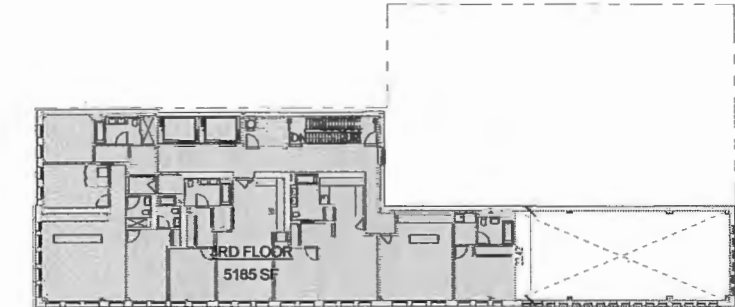
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	DATE: 03.27.2017
	SCALE: As indicated
	SHEET NO. 7 of 48



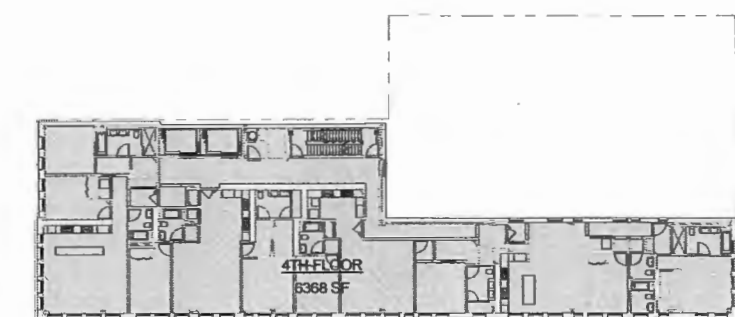
① 1ST FLOOR
3/64" = 1'-0"



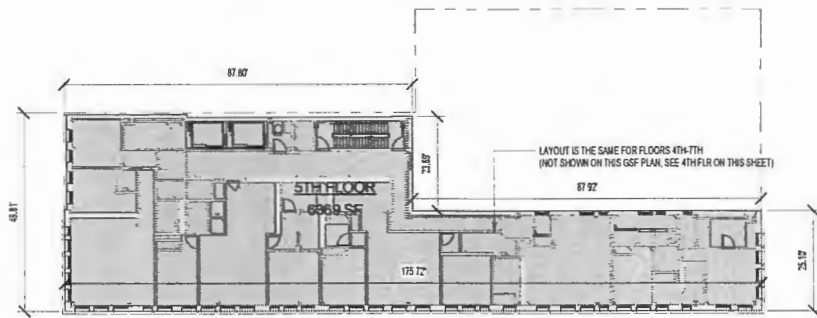
② 2ND FLOOR
3/64" = 1'-0"



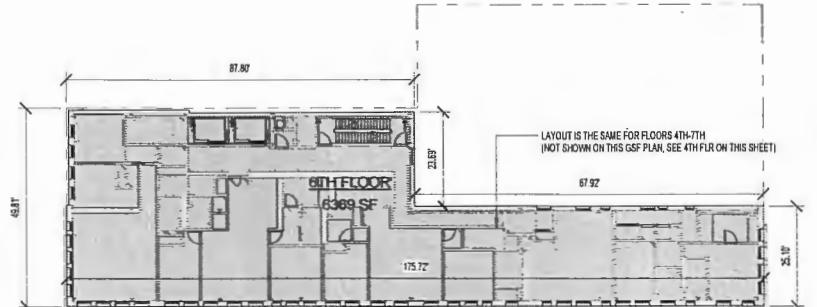
③ 3RD FLOOR
3/64" = 1'-0"



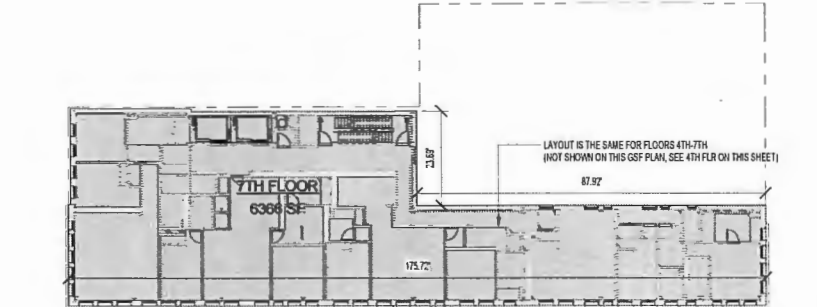
④ 4TH FLOOR
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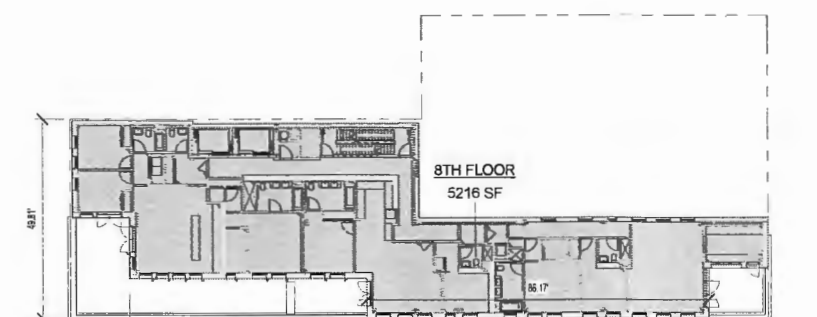
⑤ 5TH FLOOR
3/64" = 1'-0"



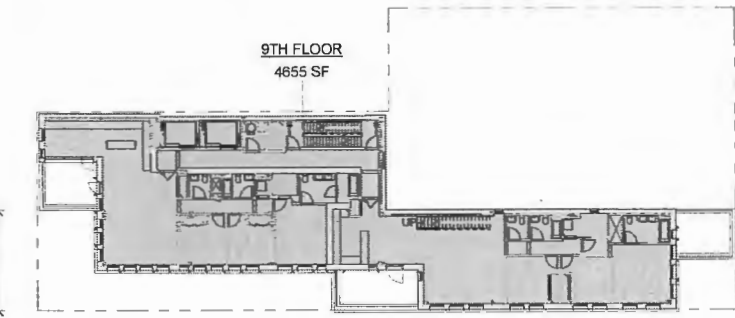
⑥ 6TH FLOOR
3/64" = 1'-0"



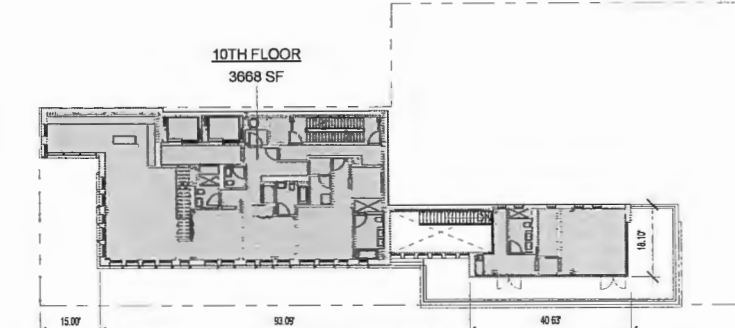
⑦ 7TH FLOOR
3/64" = 1'-0"



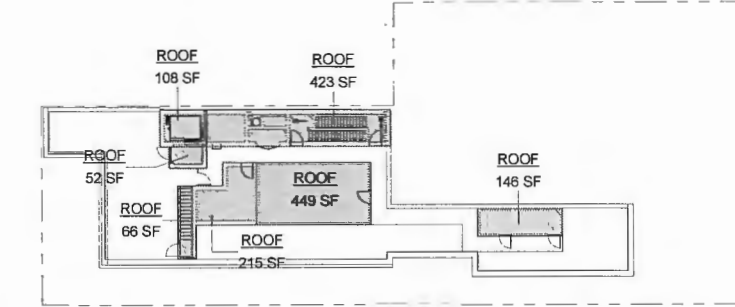
⑧ 8TH FLOOR
3/64" = 1'-0"



⑨ 9TH FLOOR
3/64" = 1'-0"



⑩ 10TH FLOOR
3/64" = 1'-0"



⑪ ROOF
3/64" = 1'-0"

GROSS FLOOR AREA	
Level	Area
1ST FLOOR	6374 SF
2ND FLOOR	6395 SF
3RD FLOOR	5185 SF
4TH FLOOR	6368 SF
5TH FLOOR	6368 SF
6TH FLOOR	6368 SF
7TH FLOOR	6368 SF
8TH FLOOR	5216 SF
9TH FLOOR	4655 SF
10TH FLOOR	3668 SF
ROOF	1460 SF
TOTAL	58425 SF

Lawrence Levine, RA
APPROVED
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Date: 05/10/2017

ALL CALCULATIONS ARE COMPUTER GENERATED

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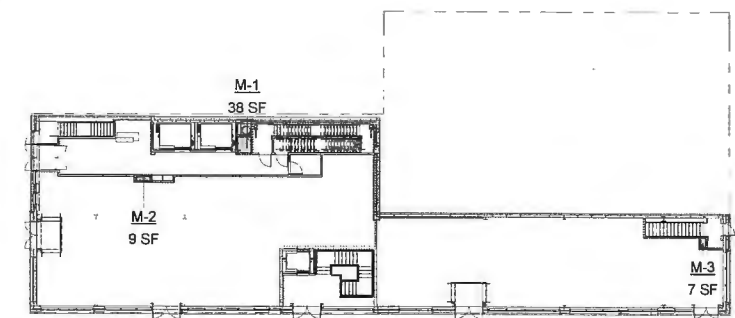
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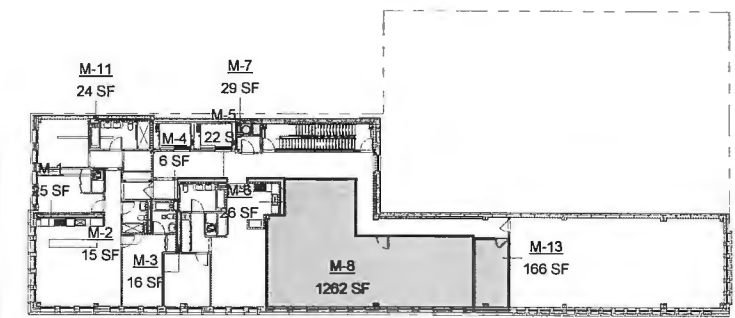
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NEW YORK, NY 10007

DRAWING TITLE
GROSS FLOOR AREA

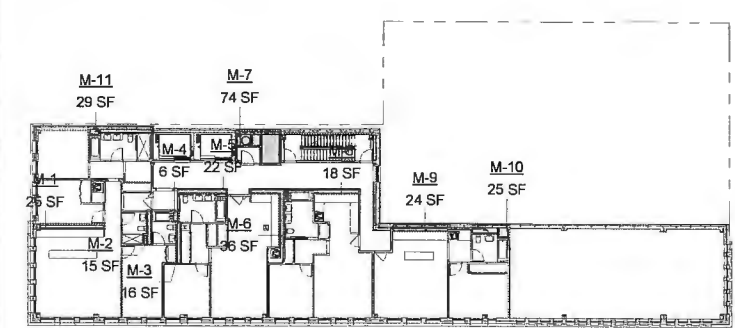
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DATE: 03.27.2017	SCALE: 3/64" = 1'-0"
SHEET NO. 8 of 46	
ARCHITECT, AIA	



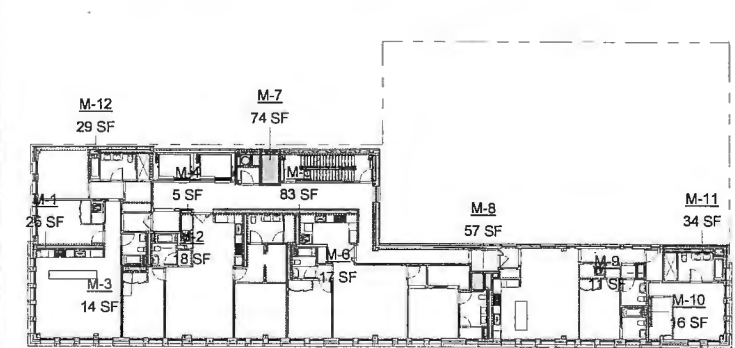
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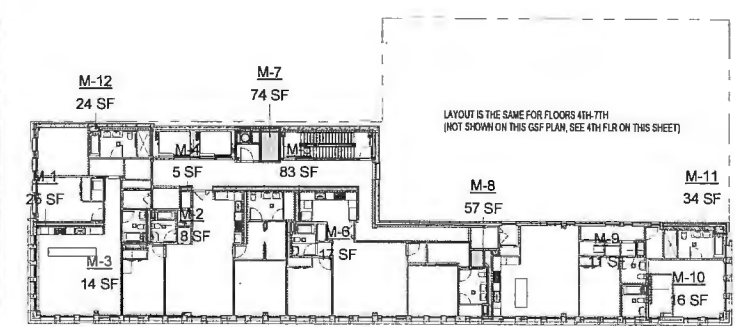
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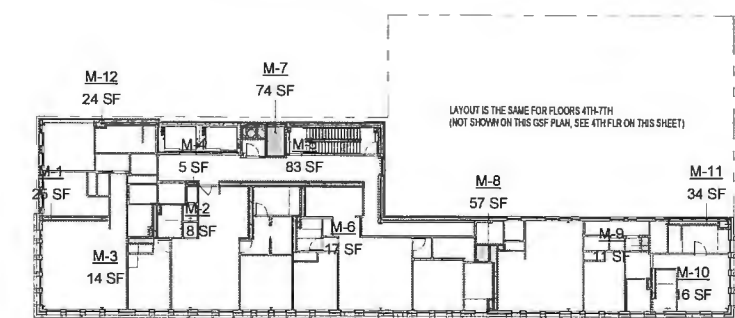
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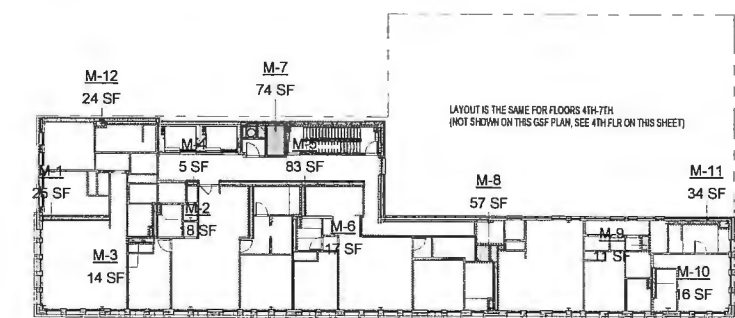
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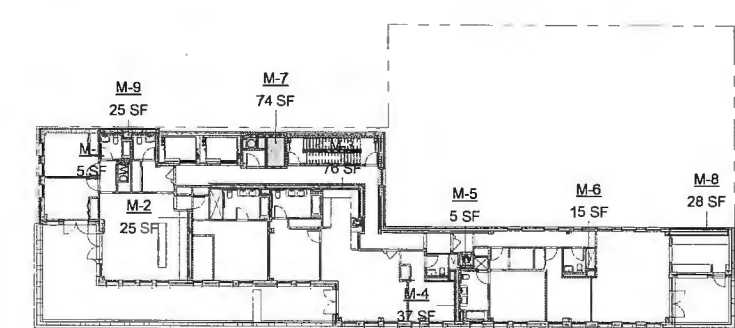
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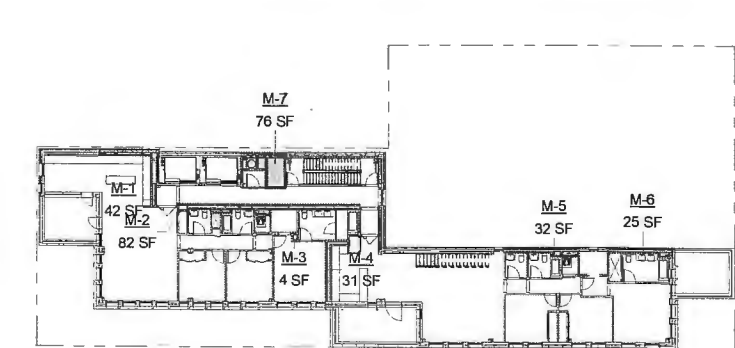
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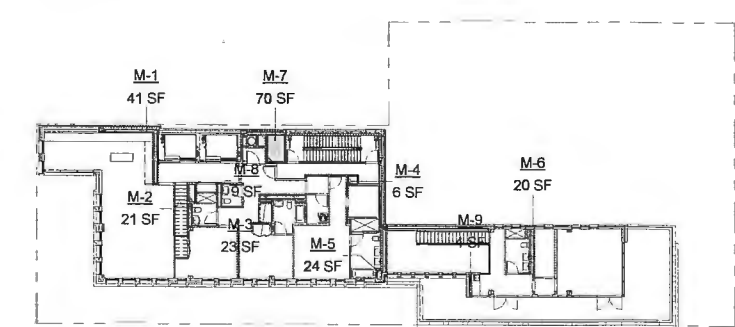
7 7TH FLOOR
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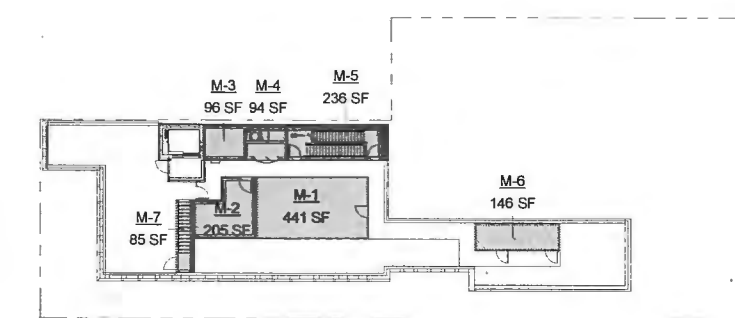
8 8TH FLOOR
3/64" = 1'-0"



9 9TH FLOOR
3/64" = 1'-0"



10 10TH FLOOR
3/64" = 1'-0"



11 ROOF
3/64" = 1'-0"

Area Schedule (MECH DEDUCT)		
Name	Type	Area

1ST FLOOR		
M-1		38 SF
M-2		9 SF
M-3		7 SF
		54 SF

2ND FLOOR		
M-1		25 SF
M-2		15 SF
M-3		16 SF
M-4		6 SF
M-5		22 SF
M-6		26 SF
M-7		29 SF
M-8		1262 SF
M-11		24 SF
M-13		166 SF
		1590 SF

3RD FLOOR		
M-1		25 SF
M-2		15 SF
M-3		16 SF
M-4		6 SF
M-5		22 SF
M-6		36 SF
M-7		74 SF
M-8		18 SF
M-9		24 SF
M-10		25 SF
M-11		29 SF
		290 SF

4TH FLOOR		
M-1		25 SF
M-2		18 SF
M-3		14 SF
M-4		5 SF
M-5		83 SF
M-6		17 SF
M-7		74 SF
M-8		57 SF
M-9		11 SF
M-10		16 SF
M-11		34 SF
M-12		24 SF
		378 SF

5TH FLOOR		
M-1		25 SF
M-2		18 SF
M-3		14 SF
M-4		5 SF
M-5		83 SF
M-6		17 SF
M-7		74 SF
M-8		57 SF
M-9		11 SF
M-10		16 SF
M-11		34 SF
M-12		24 SF
		378 SF

6TH FLOOR		
M-1		25 SF
M-2		18 SF
M-3		14 SF
M-4		5 SF
M-5		83 SF
M-6		17 SF
M-7		74 SF
M-8		57 SF
M-9		11 SF
M-10		16 SF
M-11		34 SF
M-12		24 SF
		378 SF

7TH FLOOR		
M-1		25 SF
M-2		18 SF
M-3		14 SF
M-4		5 SF
M-5		83 SF
M-6		17 SF
M-7		74 SF
M-8		57 SF
M-9		11 SF
M-10		16 SF
M-11		34 SF
M-12		24 SF
		378 SF

Area Schedule (MECH DEDUCT)		
Name	Type	Area

8TH FLOOR		
M-1		5 SF
M-2		25 SF
M-3		76 SF
M-4		37 SF
M-5		5 SF
M-6		15 SF
M-7		74 SF
M-8		28 SF
M-9		25 SF
		291 SF

9TH FLOOR		
M-1		42 SF
M-2		82 SF
M-3		4 SF
M-4		31 SF
M-5		32 SF
M-6		25 SF
M-7		76 SF
		291 SF

10TH FLOOR		
M-1		41 SF
M-2		21 SF
M-3		23 SF
M-4		6 SF
M-5		24 SF
M-6		20 SF
M-7		70 SF
M-8		9 SF
M-9		4 SF
		218 SF

ROOF		
M-1		MECH ENCLOSURE 441 SF
M-2		BOILER ROOM 205 SF
M-3		ELEVATOR OVERRUN 96 SF
M-4		GEN SHAFT & REFUSE 94 SF
M-5		EGRESS STAIRS 236 SF
M-6		MECH ENCLOSURE 146 SF
M-7		STAIR BULKHEAD 85 SF
		1303 SF

TOTAL SF 5554 SF

3	HUB RE-SUBMISSION 2	2017.03.27
2	HUB RE-SUBMISSION	2017.02.23
1	ISSUED FOR HUB	2016.12.29

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TOCCI ENGINEERING PLLC
79 NORTH 7TH ST.
BROOKLYN, NY 11249
T: (718) 702-7373

GEA CONSULTING ENGINEERS
545 EIGHTH AVE.
NEW YORK, NY 10018
T: (212) 643-8006
F: (212) 643-8016

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28 W 25th Street New York, New York 10010
t 212.807.9600 www.bksk.com

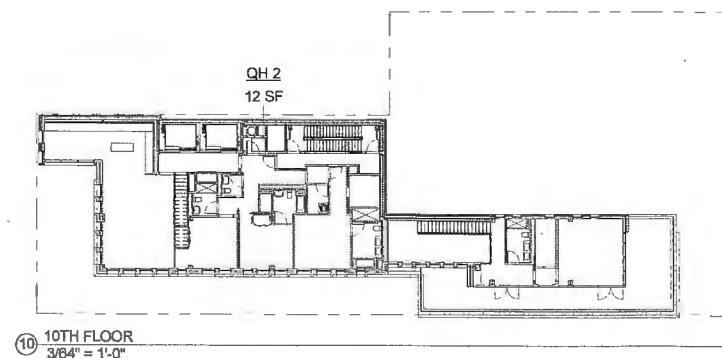
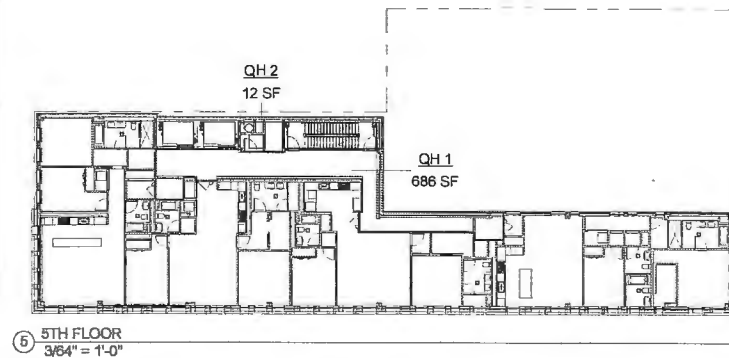
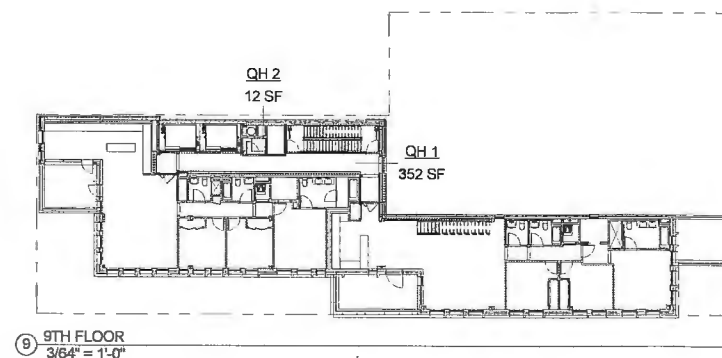
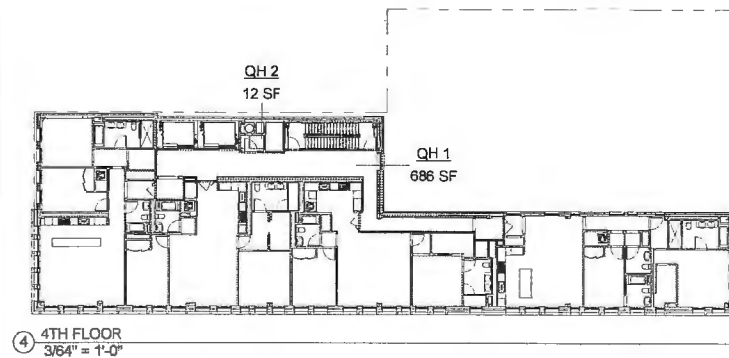
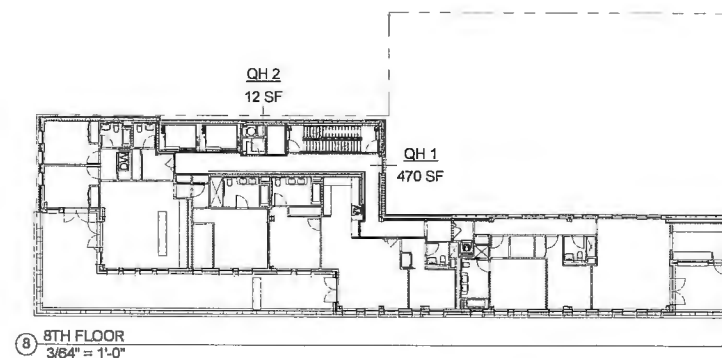
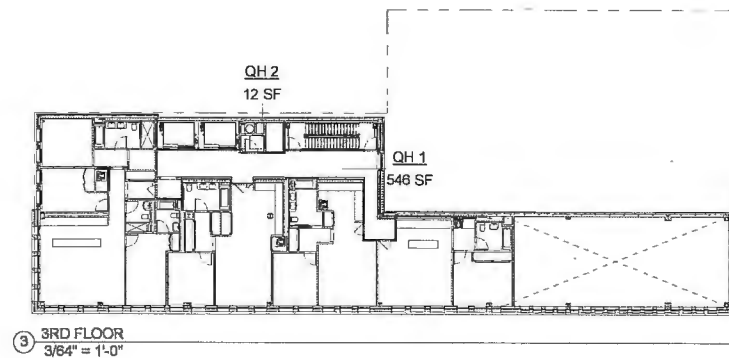
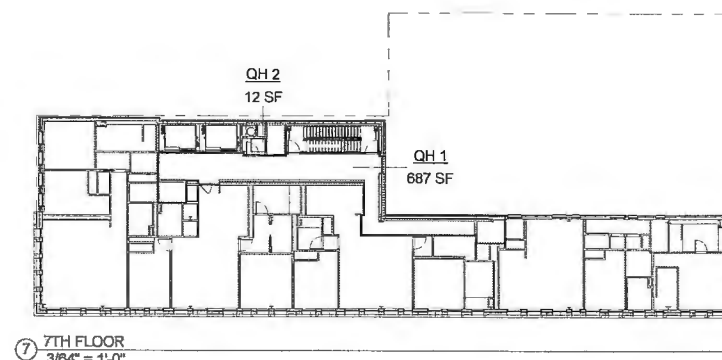
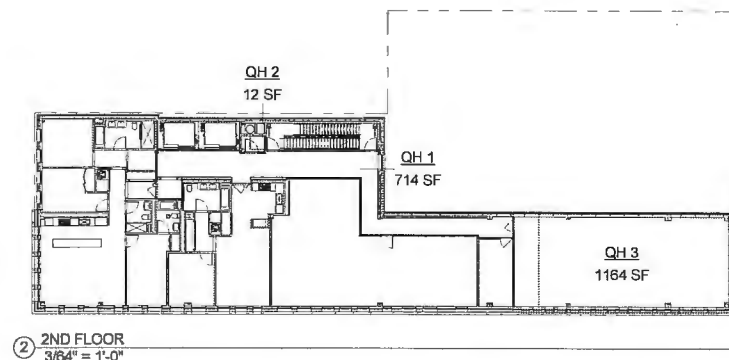
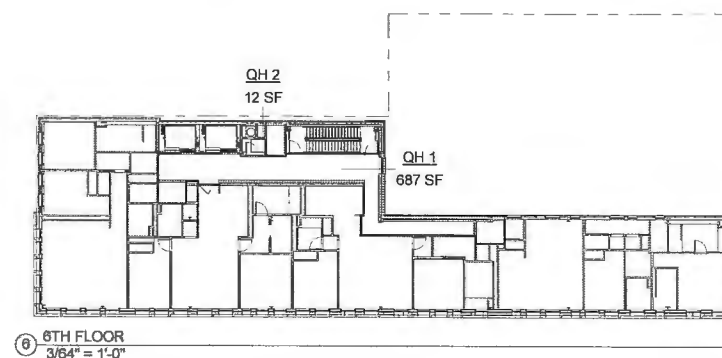
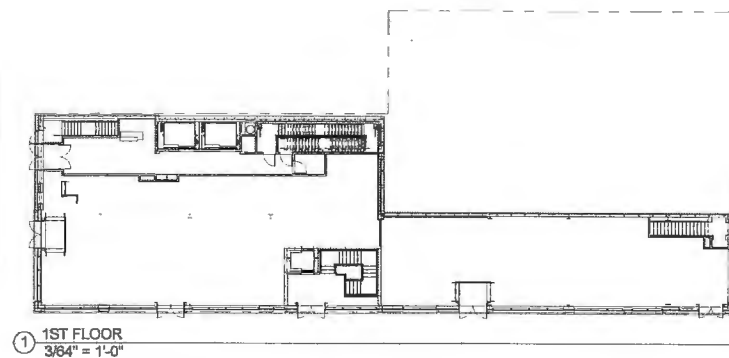
PROJECT NAME
65 WEST BROADWAY
NEW YORK, NY 10007

DRAWING TITLE
MECHANICAL DEDUCTIONS

STAMP & SIGNATURE ARCHITECT, AIA	PROJECT NO. 1520 DATE: 03.27.2017 SCALE: 3/64" = 1'-0" SHEET NO. 9 of 46

Lawrence Levine, RA
APPROVED
Under Directive 2 of 1975
Date: 05/10/2017
NYC Development Hub

****ALL CALCULATIONS ARE COMPUTER GENERATED****



QUALITY HOUSING DEDUCTIONS			
NAME	TYPE	AREA	BREAKDOWN
2ND FLOOR			
QH 1	HALLWAY	714 SF	50% OF TOTAL (DENSITY)
QH 2	REFUSE ROOM	12 SF	
QH 3	MECH	1164 SF	REC SPACE
		1890 SF	
3RD FLOOR			
QH 1	HALLWAY	546 SF	50% OF TOTAL (DENSITY)
QH 2	REFUSE ROOM	12 SF	
		558 SF	
4TH FLOOR			
QH 1	HALLWAY	686 SF	50% FOR DENSITY; 50% FOR DAYLIGHT
QH 2	REFUSE ROOM	12 SF	
		698 SF	
5TH FLOOR			
QH 1	HALLWAY	686 SF	50% FOR DENSITY; 50% FOR DAYLIGHT
QH 2	REFUSE ROOM	12 SF	
		698 SF	
6TH FLOOR			
QH 1	HALLWAY	687 SF	50% FOR DENSITY; 50% FOR DAYLIGHT
QH 2	REFUSE ROOM	12 SF	
		699 SF	
7TH FLOOR			
QH 1	HALLWAY	687 SF	50% FOR DENSITY; 50% FOR DAYLIGHT
QH 2	REFUSE ROOM	12 SF	
		699 SF	
8TH FLOOR			
QH 1	HALLWAY	470 SF	50% FOR DENSITY; 50% FOR DAYLIGHT
QH 2	REFUSE ROOM	12 SF	
		482 SF	
9TH FLOOR			
QH 1	HALLWAY	352 SF	50% FOR DENSITY; 50% FOR DAYLIGHT
QH 2	REFUSE ROOM	12 SF	
		364 SF	
10TH FLOOR			
QH 2	REFUSE ROOM	12 SF	
		12 SF	
TOTAL SF		6102 SF	
*SEE Z-011 FOR DETAILS			

3	HUB RE-SUBMISSION 2	2017.03.27
2	HUB RE-SUBMISSION	2017.02.23
1	ISSUED FOR HUB	2016.12.29

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TOCCI ENGINEERING PLLC
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BROOKLYN, NY 11249
T: (718) 702-7373

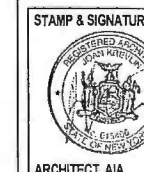
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545 EIGHTH AVE.
NEW YORK, NY 10018
T: (212) 643-8006
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BKSK ARCHITECTS LLP
28 W 25th Street New York, New York 10010
t: 212.807.9600 www.bksk.com

PROJECT NAME
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DRAWING TITLE
QUALITY HOUSING
DEDUCTIONS

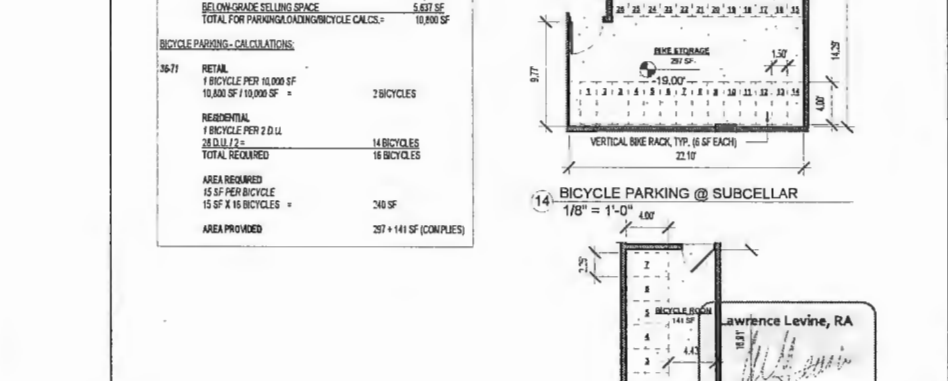
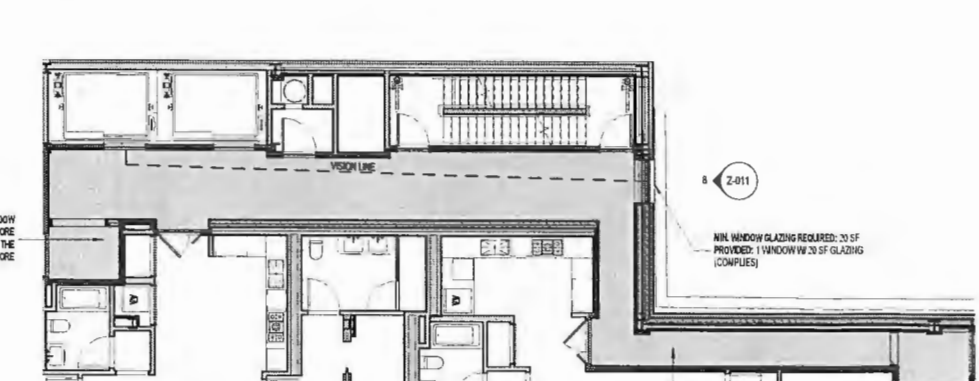
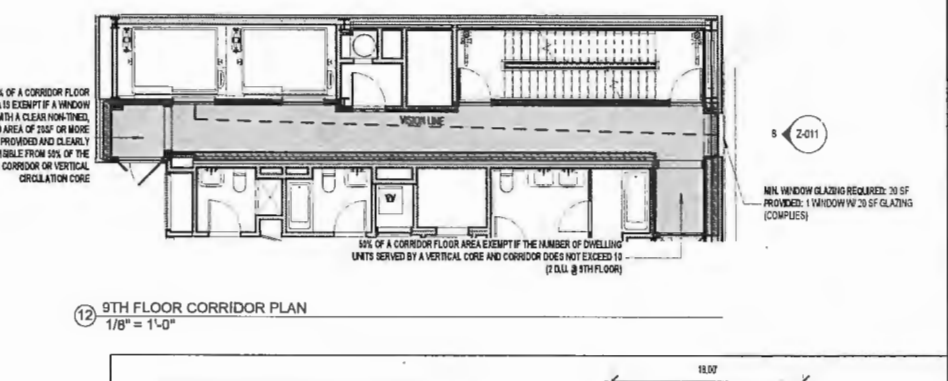
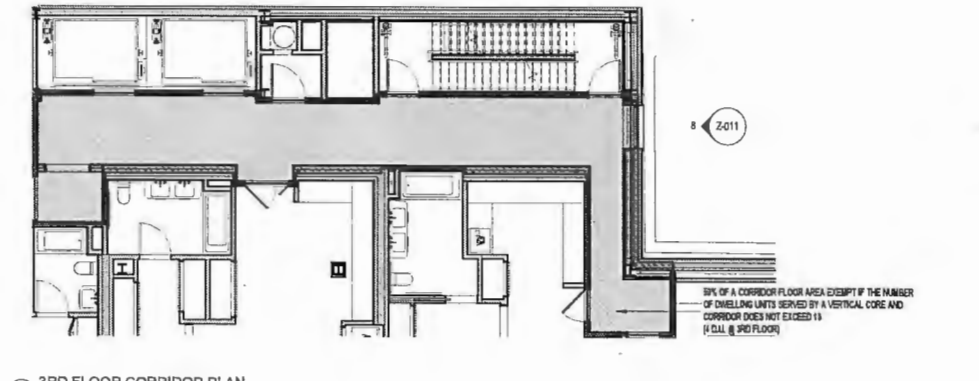
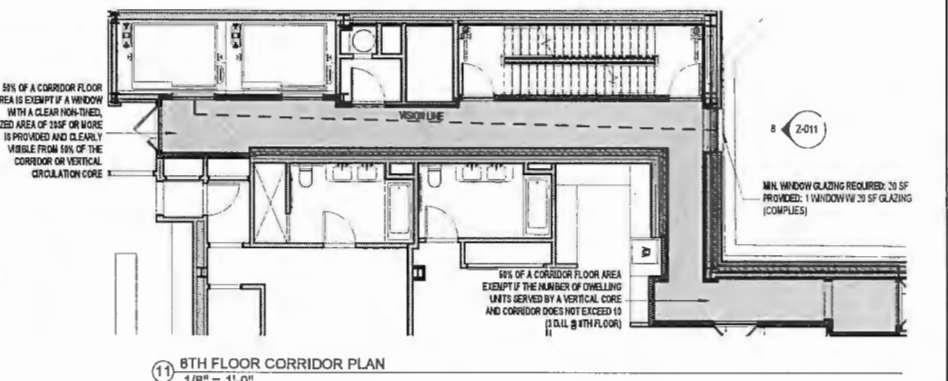
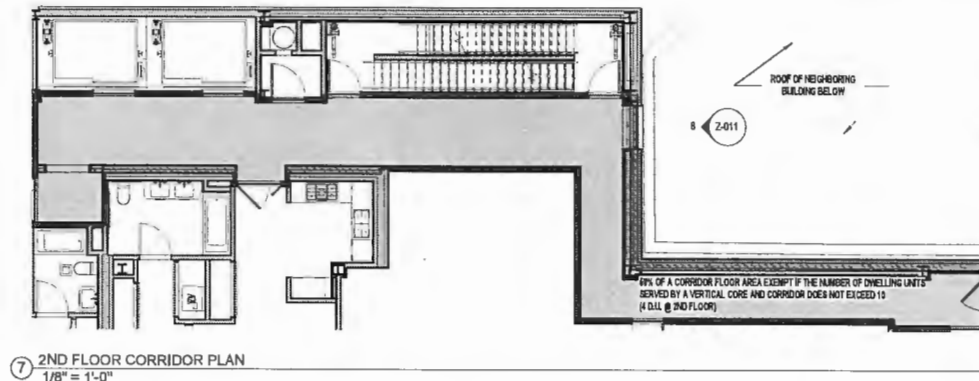
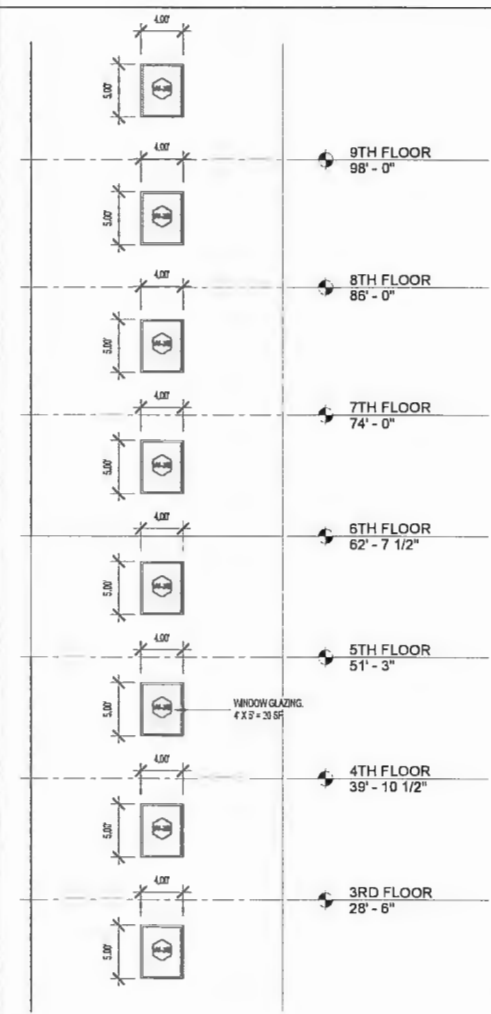
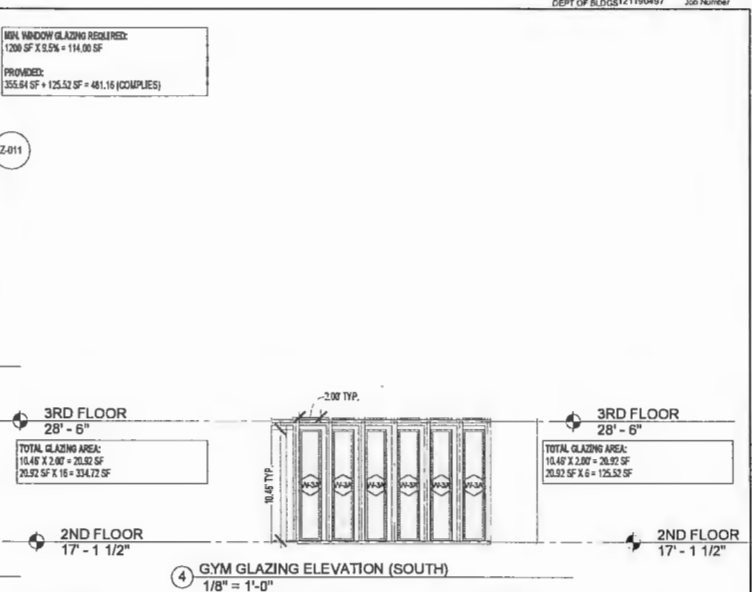
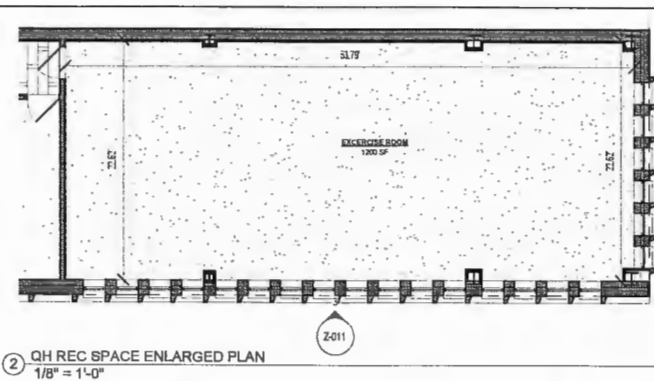
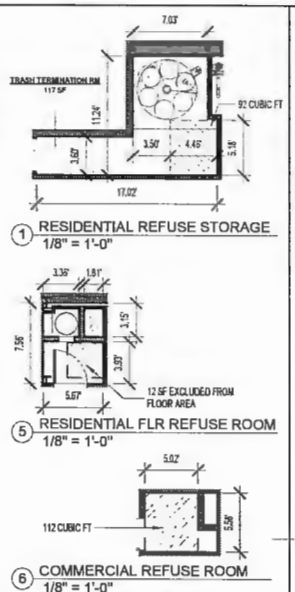
Lawrence Levine, RA
APPROVED
Under Directive 2 of 2075
Date: 05/10/2017



PROJECT NO. 1520
DATE: 03.27.2017
SCALE: 3/64" = 1'-0"
SHEET NO. 10 of 46

ALL CALCULATIONS ARE COMPUTER GENERATED

	QUALITY HOUSING	REQUIRED	PROPOSED
28-14	DAYLIGHT IN CORRIDORS 50% OF A CORRIDOR FLOOR AREA IS EXEMPT IF A WINDOW WITH A CLEAR NON-TINTED, GLAZED AREA OF 20 SF OR MORE IS PROVIDED AND CLEARLY VISIBLE FROM 50% OF THE CORRIDOR OR VERTICAL CIRCULATION CORE	20 SF	20 SF (COMPLIES)
28-21	DENSITY PER CORRIDOR 50% OF A CORRIDOR FLOOR AREA IS EXEMPT IF THE NUMBER OF DWELLING UNITS SERVED BY A VERTICAL CORE AND CORRIDOR DOES NOT EXCEED 10	10 MAX/CORRIDOR	4 D.U. MAX/CORRIDOR (COMPLIES)
28-21	RECREATION SPACE MIN. REQUIRED RECREATION SPACE = 2.0% OF RESIDENTIAL FLOOR AREA	41,596 SF X 2.0% = 1114.7	1,200 SF (COMPLIES)
28-12	STANDARDS FOR RECREATION SPACE MIN. REQUIRED DIMENSION MIN. REQUIRED SIZE FOR INDOOR MIN. REQUIRED SIZE FOR OUTDOOR MIN. REQUIRED EXTERIOR WALL WINDOW	19' 300 SF 225 SF 8.5% OF AREA - 117.8 SF	23.67' MIN (COMPLIES) 1,200 SF (COMPLIES) N/A (COMPLIES) 481.16 (COMPLIES)
28-12	RESIDENTIAL CENTRAL REFUSE STORAGE MIN. RESIDENTIAL REFUSE STORAGE OF 2.0 CUBIC FEET PER DWELLING UNIT 29 D.U. X 2.0 CUBIC FEET = 58 CUBIC FEET COMMERCIAL REFUSE STORAGE RESIDENTIAL REFUSE DISPOSAL ROOMS MIN ONE PER STORY MIN. 12 SF EACH MIN. DIMENSION OF 7'	84 CF NO MIN	92 CF (COMPLIES) 112 CF (COMPLIES) (COMPLIES)
28-11	LAUNDRY FACILITIES AT LEAST ONE WASHING MACHINE PER 20 DWELLING UNITS AND AT LEAST ONE DRYER PER 40 DWELLING UNITS		PRIVATE WASHER & DRYER AT EACH D.U. (COMPLIES)
28-21	PLANTING AREAS AREA BETWEEN THE ST. LINES AND ST. WALL SHALL BE PLANTED AT GROUND LEVEL, EXCEPT AT ENTRANCES AND EXITS, PARKING ACCESS, OR BETWEEN NON-RESIDENTIAL USES		GROUND FLOOR IS RETAIL & RESIDENTIAL ENTRANCE/EXIT. NO PLANTERS PROVIDED. (COMPLIES)



ISSUE/REVISION	DATE
3 HUB RE-SUBMISSION 2	2017.03.27
2 HUB RE-SUBMISSION	2017.02.23
1 ISSUED FOR HUB	2016.12.29

TOCCI ENGINEERING PLLC
79 NORTH 7TH ST.
BROOKLYN, NY 11249
T: (718) 702-7373

GEA CONSULTING ENGINEERS
545 EIGHTH AVE.
NEW YORK, NY 10018
T: (212) 643-8006
F: (212) 643-8016

BKSK
BKSK ARCHITECTS LLP
28 W 25th Street New York, New York 10010
t: 212.807.9600 www.bsksk.com

PROJECT NAME
**65 WEST BROADWAY
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DRAWING TITLE
QUALITY HOUSING DETAILS

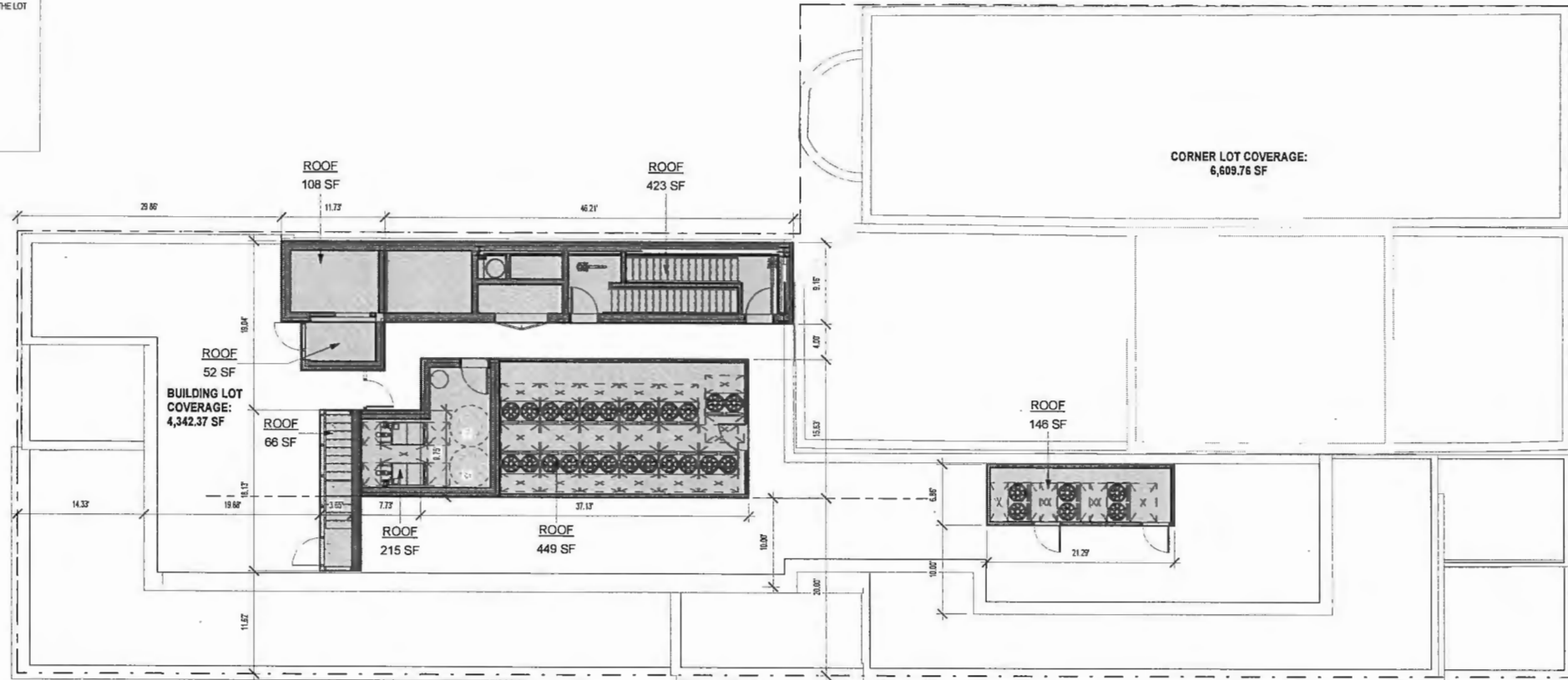
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Under Directive 2 of 3975
Date: 05/10/2017
NYC Development Hub
ARCHITECT, AIA

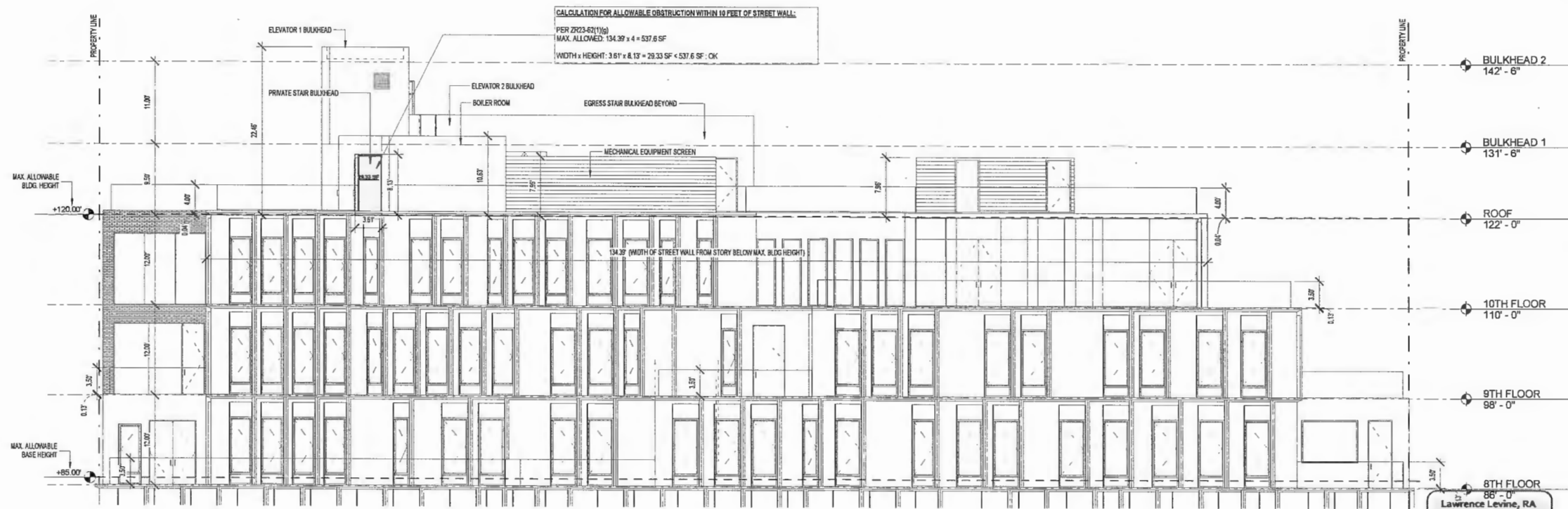
PROJECT NO. 1520
DATE: 03.27.2017
SCALE: As indicated
SHEET NO. 12 of 46
Z-011

PERMITTED OBSTRUCTIONS:
 35-65 LOT COVERAGE SHALL NOT EXCEED 20% OF THE LOT COVERAGE OF THE BUILDING
 33-62(1)(3)(a) MAX ALLOWED:
 4,342.37 SF + 6,609.76 SF X 20% = 2,190.43 SF

PROPOSED:
 52 SF
 108 SF
 423 SF
 449 SF
 207 SF
 66 SF
 + 146 SF
 1,453 SF (COMPIES)



1 ROOF COVERAGE PLAN
 1/8" = 1'-0"



2 ROOF OBSTRUCTIONS - PARTIAL ELEVATION
 1/8" = 1'-0"

3	HUB RE-SUBMISSION 2	2017.03.27
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TOCCI ENGINEERING PLLC
 79 NORTH 7TH ST.
 BROOKLYN, NY 11249
 T: (718) 702-7373

GEA CONSULTING ENGINEERS
 545 EIGHTH AVE.
 NEW YORK, NY 10018
 T: (212) 643-8006
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BKSK
 BKSK ARCHITECTS LLP
 28 W 25th Street New York, New York 10010
 t 212.807.9600 www.bksk.com

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 SHEET NO. 13 of 46
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